



YOUR INSPECTION REPORT

Timberline Home Inspections. Your trusted, reliable Kootenay Inspection service!

PREPARED BY:

Nathan Wheaton, AHI, License # 80960



FOR THE PROPERTY AT:

123 Main Street
Nelson, BC V1A 1A1

PREPARED FOR:

JOHN DOE

INSPECTION DATE:

Saturday, April 15, 2023



Timberline Home Inspections
3112 South Slocan Station Road
South Slocan, BC V0G 2G0

250-505-3899

www.timberlineinspections.ca
nathan@timberlineinspections.ca





May 9, 2023

Dear John Doe,

RE: Report No. 1330, v.4
123 Main Street
Nelson, BC
V1A 1A1

John Doe
3899 Timberline Drive
Timberline BC, A1A 1A1
250-505-3899

Thank you very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the HIABC Scope of Inspection, this document defines the scope of a home inspection.

[https://hiabc.ca/files/HIABC%20Scope%20of%20Inspection\(1\).pdf](https://hiabc.ca/files/HIABC%20Scope%20of%20Inspection(1).pdf)

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the HIABC Scope of Inspection so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and conduct a partial inspection.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thank you very much for choosing us to perform your home inspection.

Consumer Protection BC prohibits cost estimates of any kind. We include a complete digital copy of the 472-page HOME REFERENCE GUIDE under the light green "REFERENCE" tab to help you maintain your new home.

HOW TO USE THIS REPORT

The direction of the front entrance of the house is stated in the beginning pages of the report and all references contained in this report use this as the orientation. The building components are shown on the tabs at the top of the page (Roof, Exterior, Structure etc.). You can navigate to these heading here by clicking on them.

The summary section at the beginning of this report lists major deficiencies. The summary items are repeated in the main body of the report, along with photos, illustrations and links to more information.

Blue text indicates a link that will take you to further information. For this reason, the report is best viewed using a computer. Larger screens are better. The opinion on the condition of items inspected are provided in the RECOMMENDATIONS section for each system. Where appropriate, we will indicate there are no recommendations.

FURTHER ADVICE ON LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

Thank you again for choosing us to help in your decision. It is an honour we take very seriously.

Sincerely,

Nathan Wheaton, AHI
on behalf of
Timberline Home Inspections

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SUMMARY

123 Main Street, Nelson, BC April 15, 2023

Report No. 1330, v.4

www.timberlineinspections.ca

SUMMARY

ROOFING

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Asphalt shingles

Condition: • [Near end of life expectancy](#)

There are multiple deficiencies throughout the roof surface. Noted granule loss, patches, damaged shingles, ridges in the roof surface, and ridge shingles that are worn to the shingle mat. Roof shingles that are in this condition pose an increased risk of leaking and corresponding water damage to the structure/finishes. Recommend retaining a qualified roofer for roof replacement who will provide quotes for associated costs.

Implication(s): Chance of water damage to structure, finishes and contents

Location: House roof

Task: Replace

Time: Less than 6 months

Structure

FOUNDATIONS \ General notes

Condition: • [Cracked](#)

There are moderate sized foundation cracks in the visible portions of the concrete foundation, one of which appears to have been previously sealed. A qualified foundations repair specialist is recommended to repair/seal the cracks. Possible hidden damage/defects. Repairs may be costly.

Implication(s): Chance of water damage to structure, finishes and contents | Weakened structure

Location: North and South exterior

Task: Repair and Seal

Time: Upon possession

Heating

FURNACE \ Life expectancy

Condition: • Past life expectancy

The date of manufacture on the furnace is 1991. 32 years. Furnace is past its typical life expectancy of 18-25 years. The furnace function was serviceable and provided adequate warm air on the day of inspection at the registers. Recommend at a minimum, having the furnace serviced by a qualified HVAC specialist, and recommend budgeting for replacement.

Implication(s): Equipment failure | No heat for building

Location: Lower level furnace room

Task: Service equipment

Time: Before use

GAS FURNACE \ Venting system

Condition: • [Combustible clearance](#)

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The furnace vent does not appear to meet combustible clearance requirements. Fire/safety hazard. Recommend retaining a qualified HVAC specialist for immediate improvements.

Implication(s): Fire hazard

Location: Furnace room

Task: Improve clearances

Time: Immediately upon possession

Plumbing

SUPPLY PLUMBING \ Water supply piping in building

Condition: • [Polybutylene](#)

Polybutylene distribution piping present in the home. Polybutylene is a more vulnerable pipe material to failure than other materials (like copper and PEX). The results of this increased vulnerability are the potential for hidden damage, and possible insurance implications. It is recommended to further evaluate with insurance providers, and a qualified Plumber should be retained for further evaluation as to the extent of the Poly-B, and provide quotes for corresponding Plumbing upgrades.

Implication(s): Chance of water damage to structure, finishes and contents | Leakage

Location: Throughout

Task: Further evaluation

Time: Before Subject Removal

FIXTURES AND FAUCETS \ Shower stall

Condition: • Moisture detected

There is high moisture readings on all three walls in the lower level shower. There is moisture staining along the bottoms of the walls. High moisture readings on the shower walls may indicate the potential for hidden damage behind the tiles. Recommend retaining a qualified Tiler/ interior finisher to further evaluate the extent of the moisture penetration and potential hidden damage, who will provide quotes for associated costs. Repairs may be costly.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Lower level bathroom

Task: Further evaluation

Time: Upon possession and before using the shower

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

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Description

Sloped roofing material: • [Asphalt shingles](#)

Sloped roof flashing material: • Metal

Limitations

Inspection limited/prevented by: • Wet roof surface hides flaws

Inspection performed: • By walking on roof

Recommendations

SLOPED ROOFING \ Asphalt shingles

Condition: • [Near end of life expectancy](#)

There are multiple deficiencies throughout the roof surface. Noted granule loss, patches, damaged shingles, ridges in the roof surface, and ridge shingles that are worn to the shingle mat. Roof shingles that are in this condition pose an increased risk of leaking and corresponding water damage to the structure/finishes. Recommend retaining a qualified roofer for roof replacement who will provide quotes for associated costs.

Implication(s): Chance of water damage to structure, finishes and contents

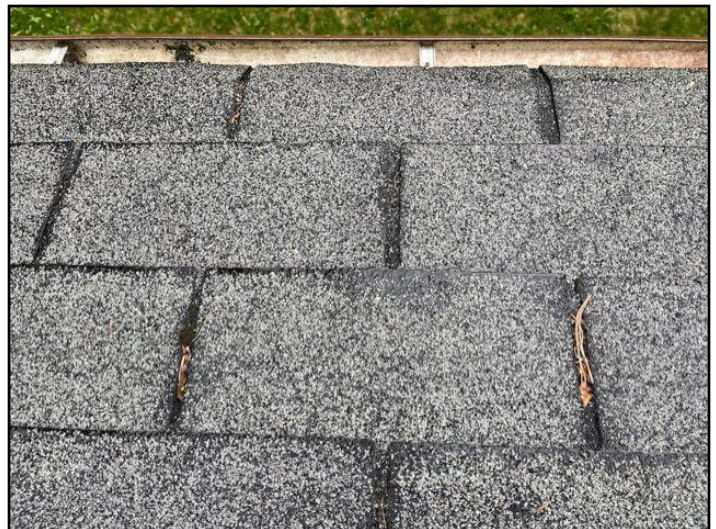
Location: House roof

Task: Replace

Time: Less than 6 months



Granule Loss



Granule Loss

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Granule Loss



Suspect ridge



Suspect ridge



Suspect ridge

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Near end of life expectancy



Near end of life expectancy



Damaged/torn



Patch

Condition: • [Exposed fasteners](#)

There are exposed fasteners on the roof flashings. Recommend applying a high-quality sealant to the fastener heads to reduce the chance of water ingress.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Throughout roof flashings

Task: Seal fasteners

Time: Immediately upon possession

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Exposed fasteners



Exposed fasteners

SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

Condition: • [Kickout flashing - missing](#)

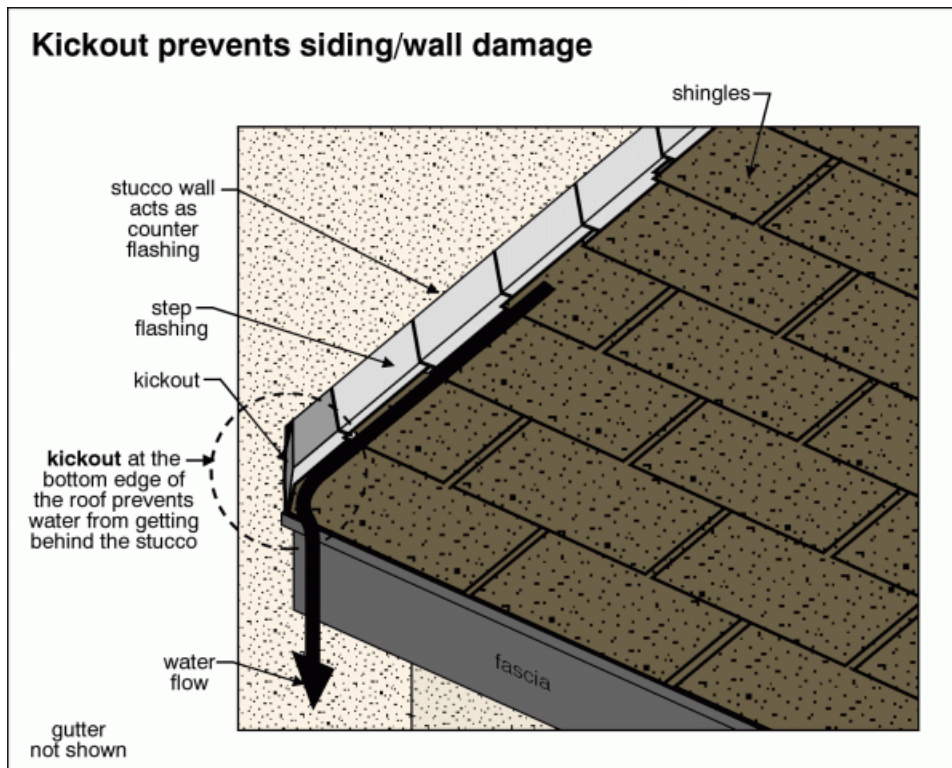
The small roof overhang on the north exterior is missing kick out flashings. There is water staining on the siding. Possible hidden damage/defects. Recommend retaining a qualified roofer to install kick out flashings.

Implication(s): Chance of water damage to structure, finishes and contents

Location: North Exterior

Task: Repair

Time: Less than 6 months



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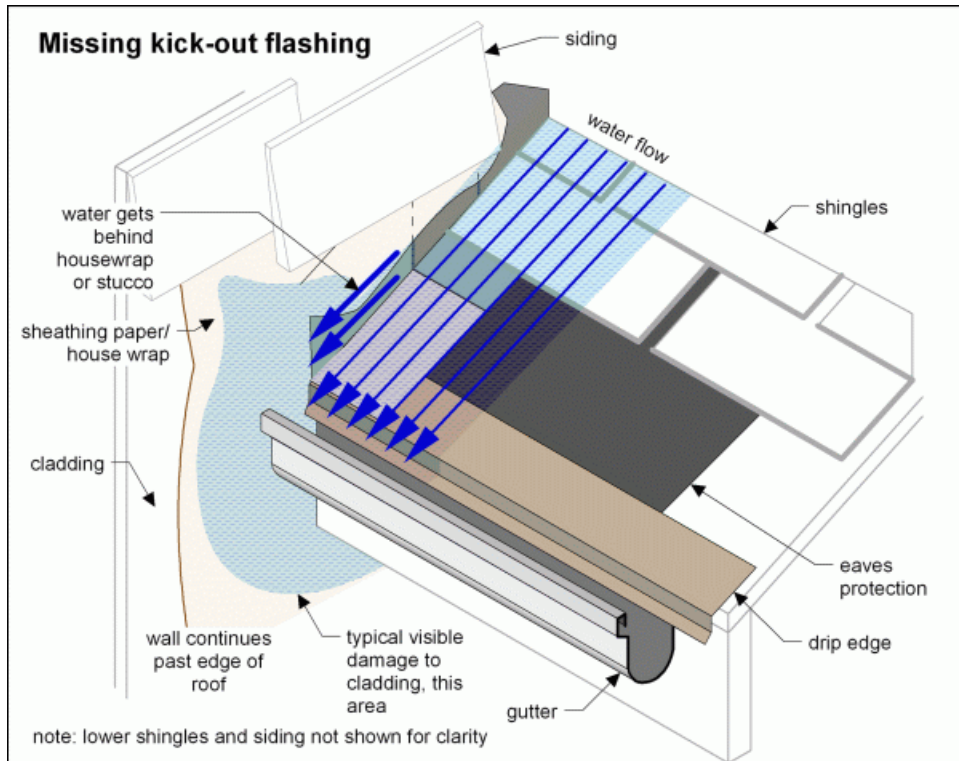
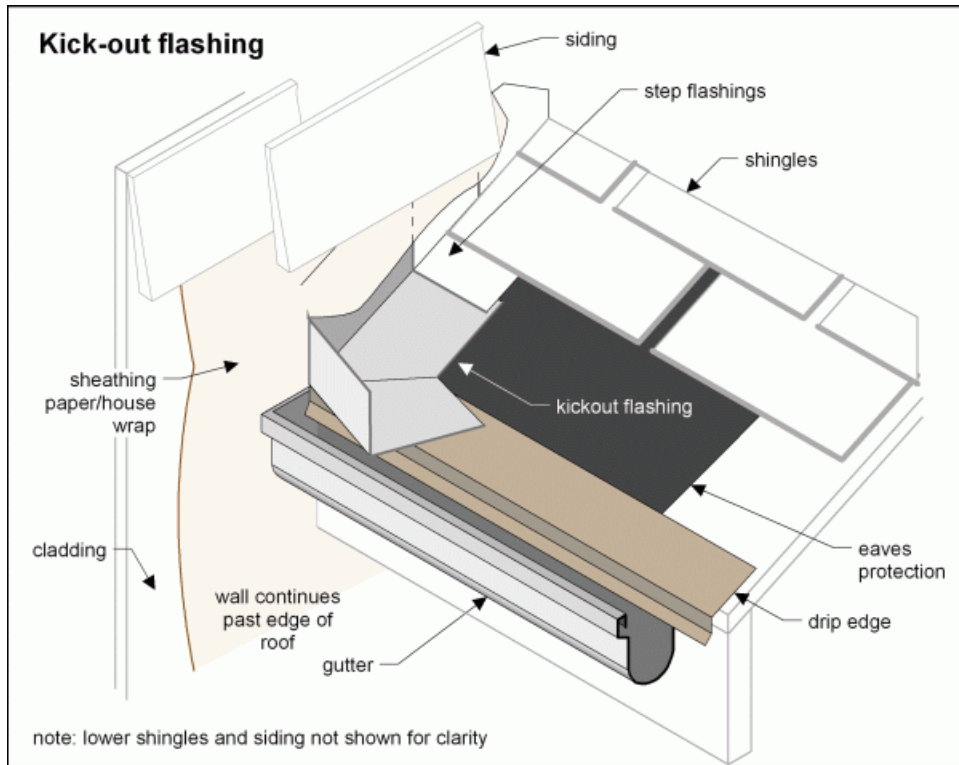
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Kickout flashing - missing



Kickout flashing - missing



Kickout flashing - missing

SLOPED ROOF FLASHINGS \ Drip edge flashings

Condition: • [Missing](#)

There is missing drip edge flashing. Possible hidden damage. It was raining on the day of inspection, and water was noted running behind the gutters and down the fascia boards, which are worn/damaged. Recommend retaining a qualified roofer to install drip edge flashings.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Throughout roof edge

Task: Install flashings

Time: Upon possession

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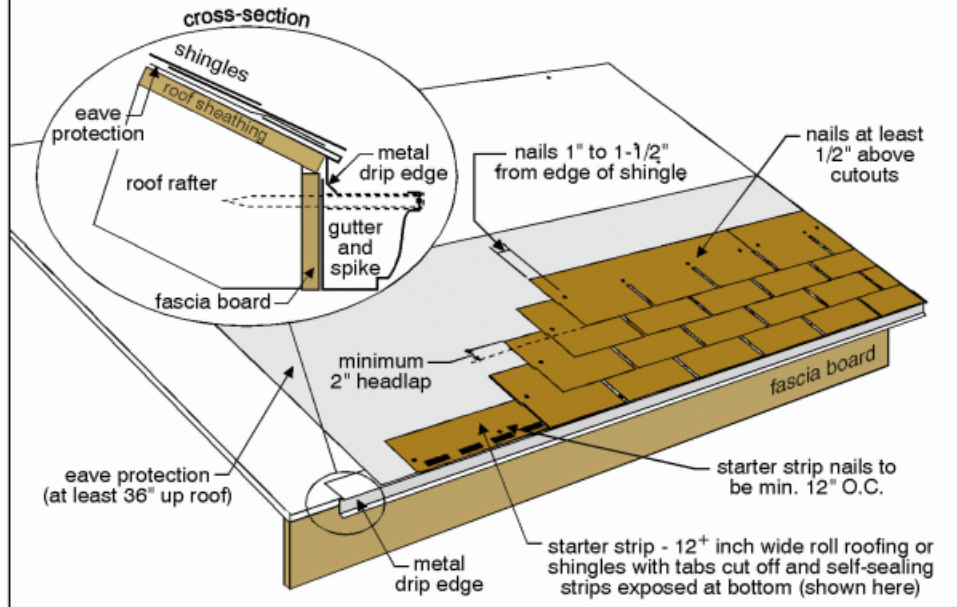
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Typical asphalt shingle application - showing metal drip edge



Missing



Missing

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Missing



Missing



Missing

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Description

General: • The exterior of the home was inspected by walking the perimeter of the home and the wall elevations were observed from the Ground.

Gutter & downspout material: • [Aluminum](#)

Downspout discharge: • [Above grade](#)

Lot slope: • [Hillside](#)

Wall surfaces and trim: • [Wood](#) • Wood trim

Driveway: • Gravel

Garage: • Attached

Limitations

Inspection limited/prevented by: • Storage • Storage in garage

Recommendations

ROOF DRAINAGE \ Gutters

Condition: • [Loose or damaged](#)

A section of the South Exterior gutter appears to be loose/pulled away from the house. The shingles on the roof do not extend past the fascia board. There is a chance that water is running behind the fascia board with possible hidden damage. Recommend immediate repairs by a qualified Carpenter/roofer who will provide quotes for all associated costs.

Implication(s): Chance of water damage to structure, finishes and contents

Location: South Exterior

Task: Repair

Time: Immediately upon possession



Loose or damaged



Loose or damaged

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Loose or damaged

ROOF DRAINAGE \ Downspouts

Condition: • [Discharge too close to building](#)

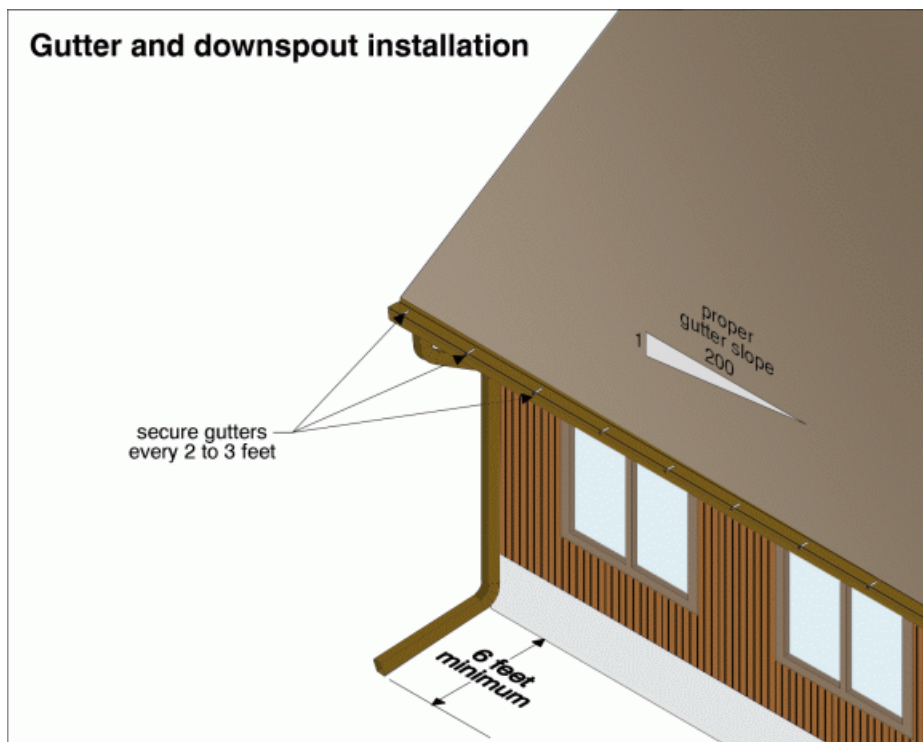
Downspouts are discharging too close to the building. Recommend extending discharge point at least 6 feet from the structure.

Implication(s): Chance of water damage to structure, finishes and contents

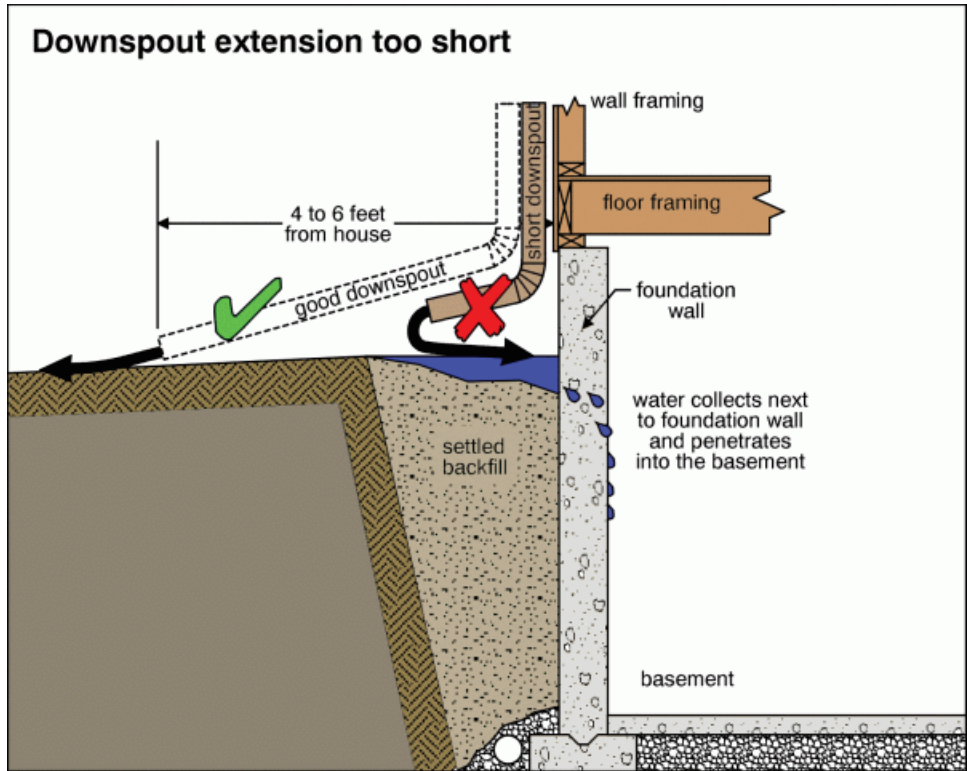
Location: Throughout

Task: Extend downspouts

Time: Immediately Upon Possession



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	INSULATION	PLUMBING	INTERIOR	SITE INFO
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Discharge too close to building



Discharge too close to building

WALLS \ Flashings and caulking

Condition: • [Caulking missing or ineffective](#)

It is recommended to add a high quality putty sealant or caulking at wall penetrations, holes in the siding and at siding end joints, where missing, to reduced the chance of water and pest ingress. Possible hidden damage.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Throughout Exterior

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Task: Seal exterior wall penetrations

Time: Upon Possession



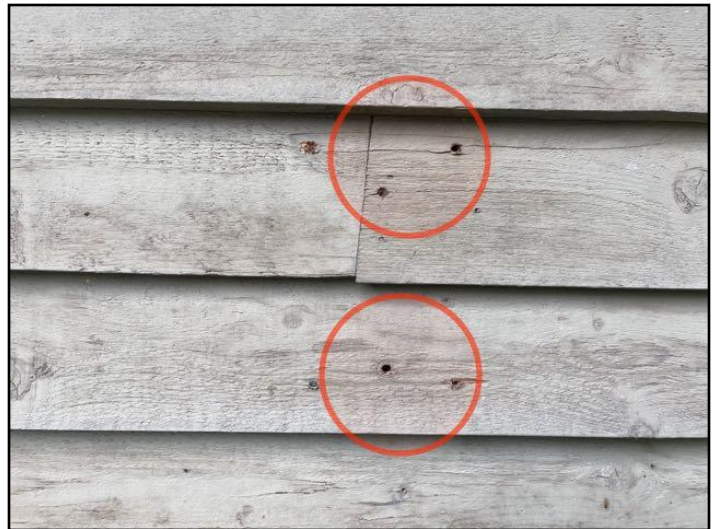
Caulking missing or ineffective



Caulking missing or ineffective



Caulking missing or ineffective



Caulking missing or ineffective

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Caulking missing or ineffective

WALLS \ Wood siding

Condition: • [Loose](#)

There is damaged, loose and missing siding on the west exterior. Recommend repairs by a qualified siding installation specialist.

Implication(s): Chance of water damage to structure, finishes and contents

Location: West Exterior

Task: Repair

Time: Immediately upon possession



Loose



Loose

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Loose

Condition: • [Stained](#)

There is water staining evidence on the siding near an upper level north exterior window, and on the South exterior wall. There is water staining above the South side wall staining on the soffit vent. Suspect detail. Possible hidden damage/defects. Recommend requesting a disclosure from the seller about the origins of the water staining and any remedial action taken.

Implication(s): Material deterioration | Rot

Location: North and South Exterior

Task: Request disclosure

Time: Before Subject Removal



Stained (north)



Stained (South)

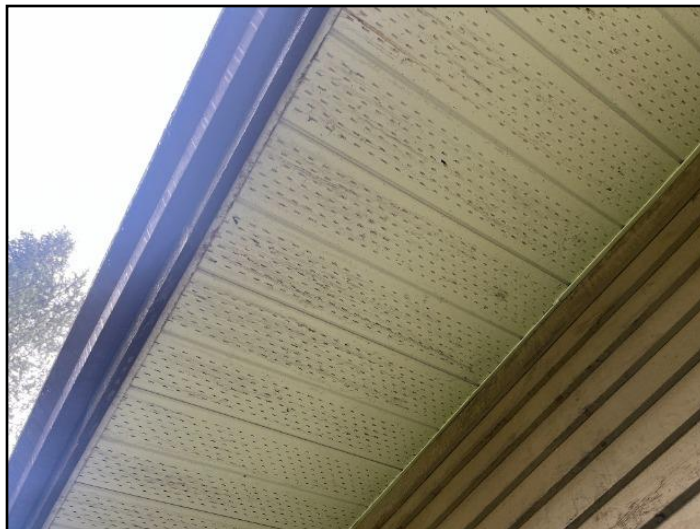
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Water staining on the soffit

Condition: • [Paint or stain - needed](#)

The wood siding, trim and fascia throughout the exterior is lacking maintenance. Paint/stain deficient wood results in increased wear on the siding, and lowered material life expectancy. Recommend adding paint/stain to all exterior wood upon possession, and recommend adding and maintaining paint regularly to help increase the material life expectancy. Possible hidden damage.

Implication(s): Shortened life expectancy of material

Location: Throughout Exterior

Task: Apply paint/stain

Time: Upon Possession



Paint or stain - needed



Paint or stain - needed

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Paint or stain - needed



Paint or stain - needed



Paint or stain - needed

Condition: • [Too close to grade](#)

There is wood siding/trim at or near grade. Moisture content and insects from the ground can reduce the life expectancy of the siding. Possible hidden damage/defects.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration | Rot | Insect damage

Location: North and East Exterior

Task: Lower grade or elevate siding

Time: Upon possession

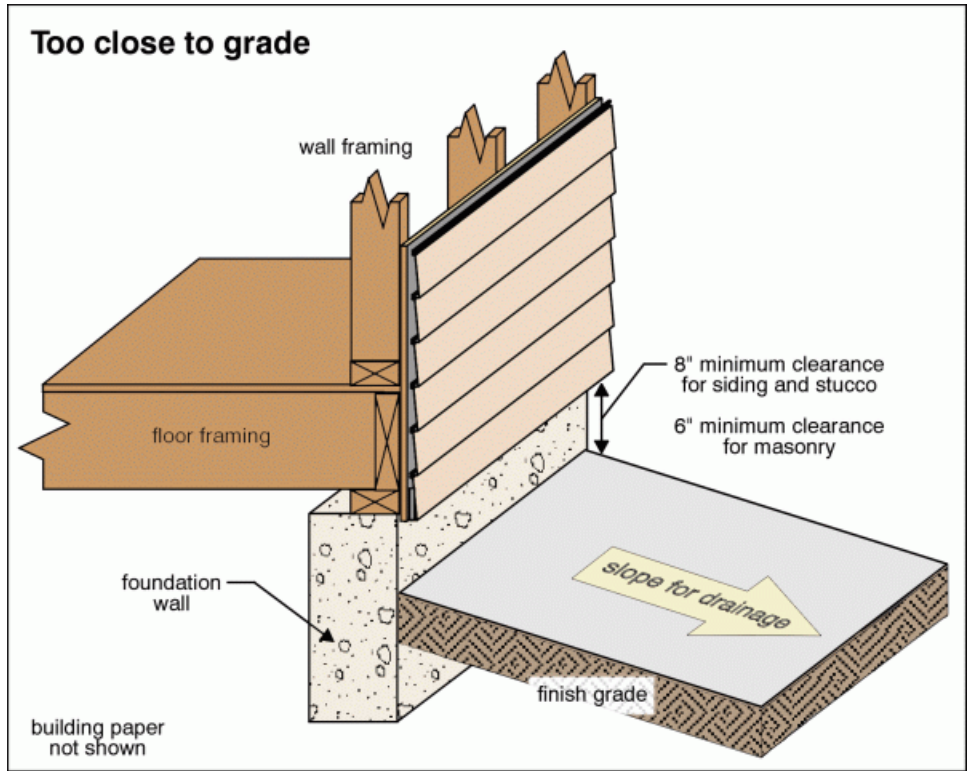
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Too close to grade



Too close to grade

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Too close to grade

Condition: • There is bird damage to the exterior siding. Chance for water ingress.

Implication(s): Water ingress. Damage to finishes/structure

Location: East Exterior

Task: Repair

Time: Upon Possession



Damage

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Beams

Condition: • [Rotation](#)

The support beam for the West exterior deck is undersized, pulling apart, rotted and rotated. Reduced structural integrity. Beam/post connection details are inadequate. The centre support post is twisted, which can be linked to the beam rotation. Recommend replacing the beam with a larger beam that has adequate connections to the posts. A qualified Carpenter is recommended to make these repairs, who will provide quotes for associated costs.

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Implication(s): Weakened structure | Chance of movement

Location: West Exterior

Task: Replace beam and improve connections

Time: Before use of the deck



Rotation



Pulling apart



Poor post connection



Separating

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Twisted post

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

Condition: • [Paint or stain needed](#)

There is deferred maintenance throughout the exterior deck components. Paint/stain should be regularly applied to the exterior wood. Exterior wood that does not have paint/stain regularly applied has a reduced life expectancy.

Implication(s): Shortened life expectancy of material

Location: Throughout the deck

Task: Add and maintain paint/stain

Time: Upon possession



Paint or stain needed



Paint or stain needed

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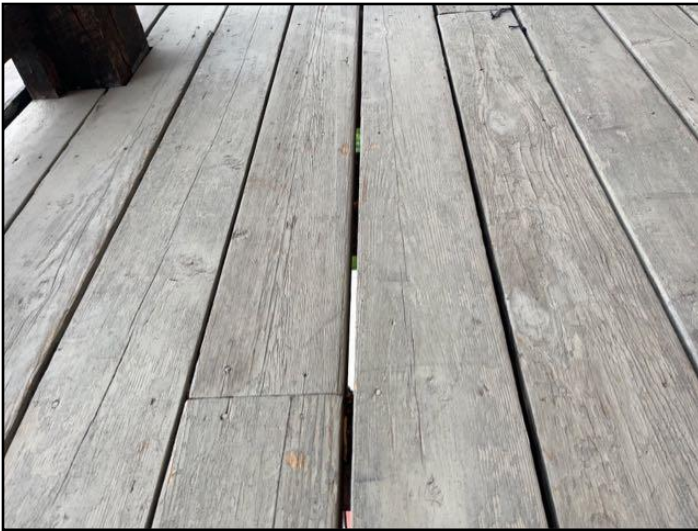
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Paint or stain needed



Paint or stain needed

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • Safety or tempered glass needed

The top floor deck has a guardrail that consists of glass panels. It could not be verified if these glass panels are made of tempered glass. Glass panels for this type of railing should be tempered glass.

Implication(s): Trip or fall hazard

Location: West Second Floor Exterior

Task: Further evaluation

Time: Upon Possession



Safety or tempered glass needed



Safety or tempered glass needed

LANDSCAPING \ General notes

Condition: • [Planters and gardens against walls](#)

Gardens/planters against the exterior walls. Increased moisture levels against the structure. Increased chance of water entering building, and chance of damage to structure.

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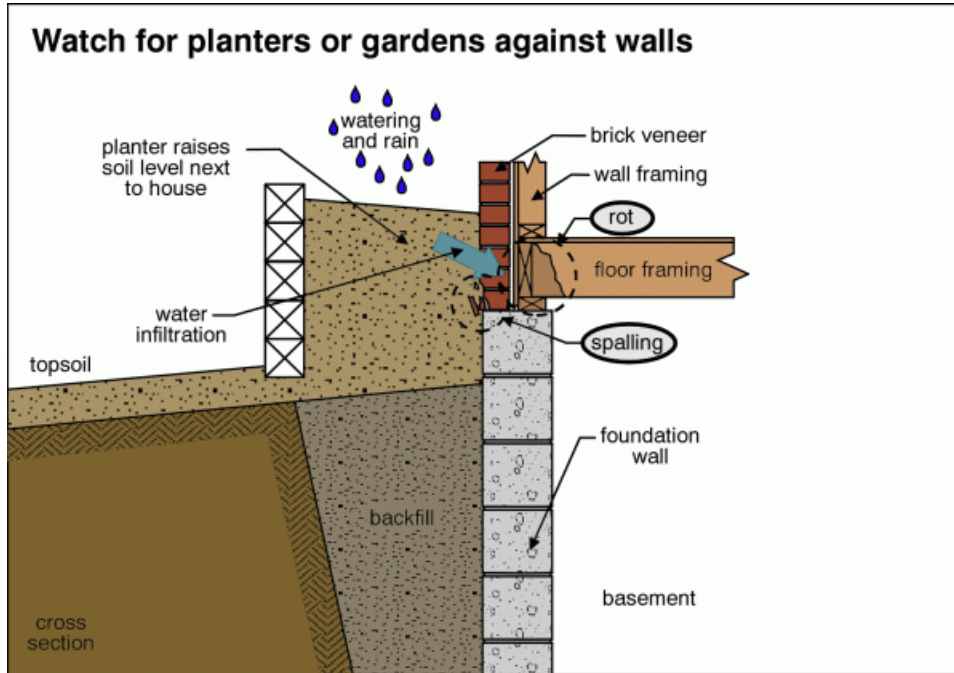
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Implication(s): Chance of water entering building | Chance of damage to structure | Chance of structural movement

Location: North exterior

Task: Remove

Time: Upon Possession



Planters and gardens against walls

LANDSCAPING \ Patios

Condition: • Cracked or damaged surfaces

There is cracking and settlement in the west exterior concrete patio slab. Possible hidden defects. Recommend repairs by a qualified concrete repair specialist who will provide quotes for associated costs.

Implication(s): Physical injury

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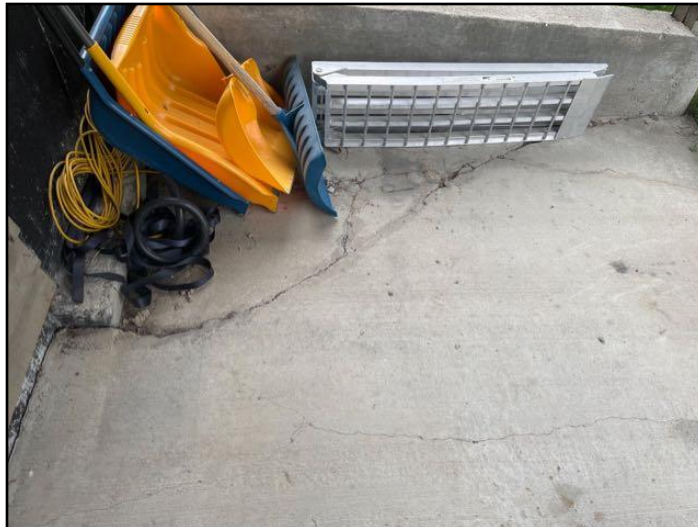
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Location: West Exterior

Task: Repair

Time: Upon possession



Cracked or damaged surfaces

GARAGE \ Floor

Condition: • [Cracked](#)

The north exterior garage floor apron is cracked/damaged. It is recommended to retain a qualified concrete repair specialist to repair and seal the cracks to reduce the chance of further material deterioration.

Implication(s): Uneven floors

Location: North exterior

Task: Repair and Seal cracks

Time: Upon possession



Cracked

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Description

- Configuration:** • [Slab-on-grade](#)
- Foundation material:** • [Poured concrete](#)
- Floor construction:** • [Joists](#)
- Exterior wall construction:** • Not visible
- Roof and ceiling framing:** • [Rafters/roof joists](#)

Limitations

- Inspection limited/prevented by:** • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • Insulation
- Attic/roof space:**
 - Inspected from access hatch
 - To the small attic space above the top floor kitchen/bathroom
 - No access
 - To remainder of the homes attic space due to the vaulted ceilings.

Recommendations

FOUNDATIONS \ General notes

Condition: • [Cracked](#)

There are moderate sized foundation cracks in the visible portions of the concrete foundation, one of which appears to have been previously sealed. A qualified foundations repair specialist is recommended to repair/seal the cracks. Possible hidden damage/defects. Repairs may be costly.

Implication(s): Chance of water damage to structure, finishes and contents | Weakened structure

Location: North and South exterior

Task: Repair and Seal

Time: Upon possession



Cracked (north)



Cracked (south)

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	INSULATION	PLUMBING	INTERIOR	SITE INFO
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FLOORS \ Joists

Condition: • [Poor end bearing, joist hanger connections](#)

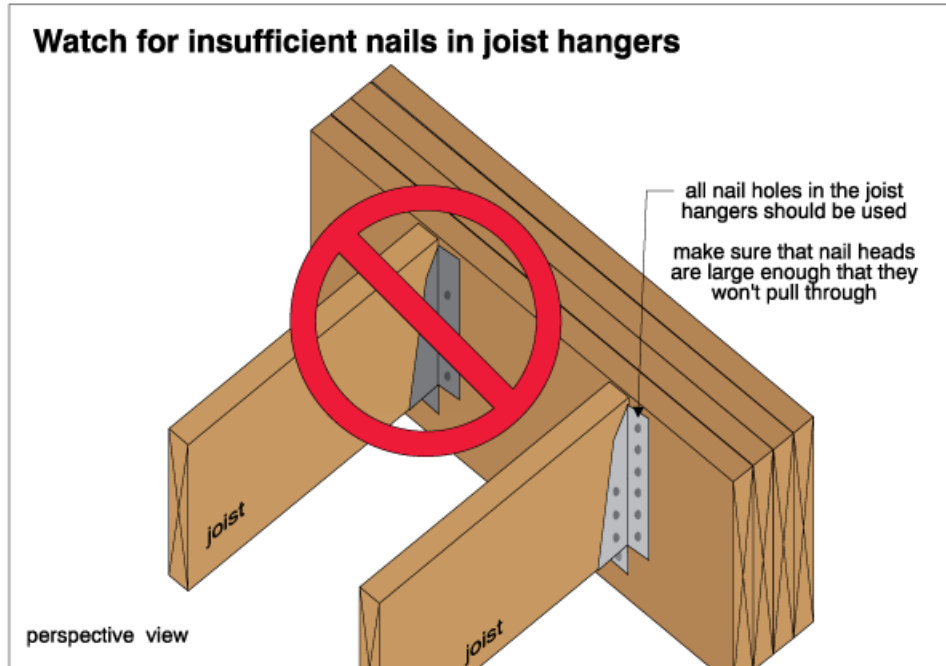
There are joist hangers with missing fasteners. Recommend adding fasteners to all available holes upon possession.

Implication(s): Weakened structure | Chance of structural movement

Location: West exterior deck joists

Task: Improve

Time: Upon Possession



Poor end bearing, joist hanger connections

Description

General: • No AFCI Noted

Service size:

- [100 Amps \(240 Volts\)](#)



100 Amps (240 Volts)

Main disconnect/service box type and location:

- [Breakers - bedroom](#)

Lower level



Breakers - bedroom



Breakers - bedroom

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Smoke alarms (detectors):

- [Present](#)

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	INSULATION	PLUMBING	INTERIOR	SITE INFO
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Present

Carbon monoxide (CO) alarms (detectors):

- None noted

Recommend installing CO alarms throughout, upon possession. Missing CO alarms is a safety hazard.

Limitations

Inspection limited/prevented by: • Storage

Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service drop

Condition: • [Branches / vines interfering with wires](#)

Tree/branches interfering with the service drop. Recommend trimming/removal of trees and branches by a qualified arborist.

Implication(s): Damage to wire | Electric shock | Interruption of electrical service

Location: Southwest exterior

Task: Improve

Time: Upon Possession



Branches / vines interfering with wires

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Openings in panel](#)

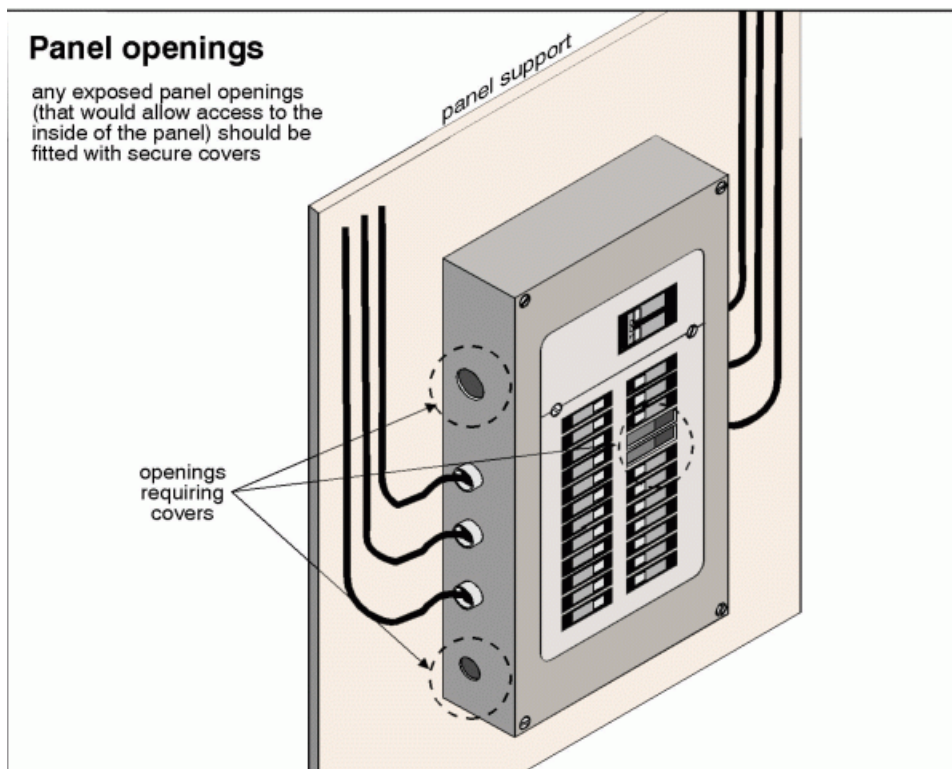
There is an unprotected opening in the electrical panel. Recommend installing breaker covers.

Implication(s): Electric shock | Fire hazard

Location: Main electrical panel

Task: Repair

Time: Upon possession



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	INSULATION	PLUMBING	INTERIOR	SITE INFO
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Openings in panel

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

Condition: • Wires noted touching duct work. Should the sheathing of the wire deteriorate or get damaged there is potential for the wire to "liven" the duct work. This is a safety concern. Recommend re-routing wiring or adding an insulation barrier to separate wires from the ducting.

Location: Furnace room

Task: Ensure wires do not contact ducting

Time: Upon possession



Wires noted touching duct work. Should the...



Contacting the furnace vent pipe (high heat)

Description

Heating system type:

- [Furnace](#)



Furnace



Furnace

- [Space heaters](#)

Fuel/energy source:

- Natural Gas
- Furnace and fireplace

Heat distribution:

 • [Ducts and registers](#)

Approximate capacity:

 • Not determined

Efficiency:

- [Mid-efficiency](#)

Furnace

Exhaust venting method:

- [Direct vent](#)
- Gas fireplace
- [Forced draft](#)

Furnace

Combustion air source:

 • Interior of building

Approximate age:

 • Past lifespan

Typical life expectancy:

 • Furnace (conventional or mid-efficiency) 18 to 25 years

Main fuel shut off at:

- Meter
- East exterior

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Meter



Meter

Fireplace/stove:

- [Gas fireplace](#)



Gas fireplace

Chimney/vent:

- [Metal](#)
- Furnace
- Sidewall venting
- Fireplace

Chimney liner: • [Metal](#)

Location of the thermostat for the heating system:

- Living Room

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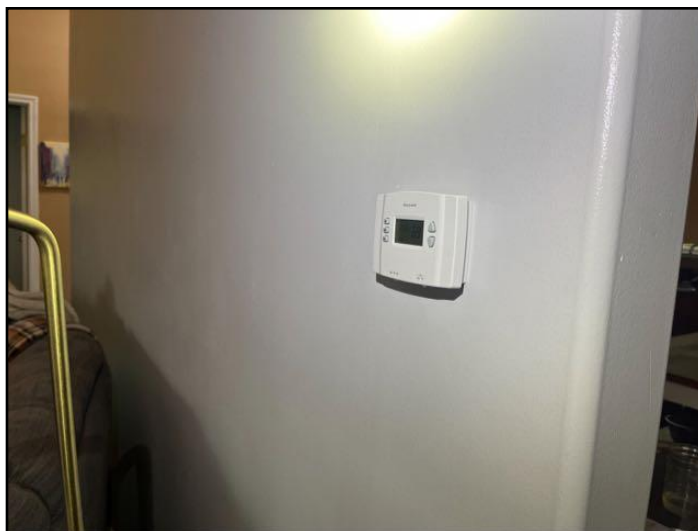
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Furnace- top floor



Living Room

Limitations

Inspection prevented/limited by: • Cannot verify proper operation of air filter • Cannot verify effectiveness of air filter

Heat exchanger: • Not accessible

Not included as part of a building inspection: • Heat loss calculations

Recommendations

FURNACE \ Life expectancy

Condition: • Past life expectancy

The date of manufacture on the furnace is 1991. 32 years. Furnace is past its typical life expectancy of 18-25 years. The furnace function was serviceable and provided adequate warm air on the day of inspection at the registers. Recommend at a minimum, having the furnace serviced by a qualified HVAC specialist, and recommend budgeting for replacement.

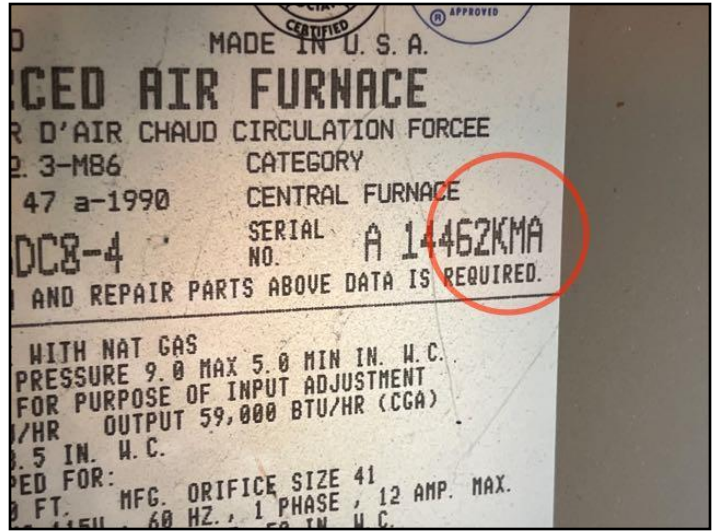
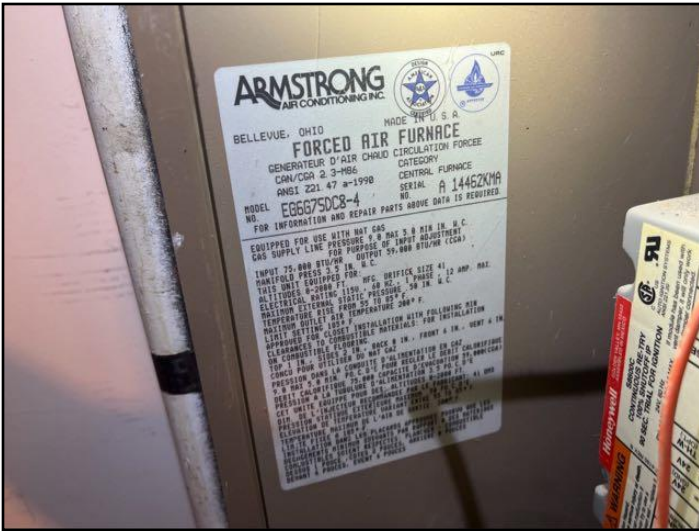
Implication(s): Equipment failure | No heat for building

Location: Lower level furnace room

Task: Service equipment

Time: Before use

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Past life expectancy

Past life expectancy

GAS FURNACE \ Venting system

Condition: • [Combustible clearance](#)

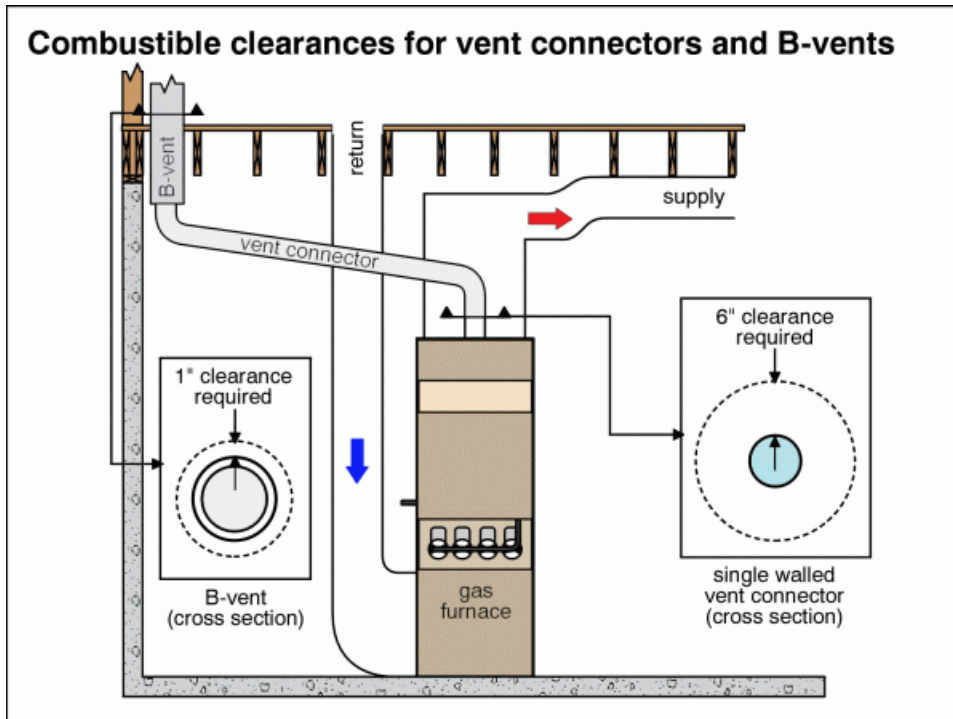
The furnace vent does not appear to meet combustible clearance requirements. Fire/safety hazard. Recommend retaining a qualified HVAC specialist for immediate improvements.

Implication(s): Fire hazard

Location: Furnace room

Task: Improve clearances

Time: Immediately upon possession



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Combustible clearance

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Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value:

- Not determined

Vaulted ceilings in the home limited the determination of insulation adequacy

Attic/roof air/vapor barrier: • [Plastic](#)

Attic/roof ventilation: • [Soffit vent](#) • [Ridge vent](#)

Wall insulation amount/value: • Not visible

Floor above basement/crawlspace insulation amount/value: • Not determined

Limitations

Inspection limited/prevented by lack of access to: • Attic • Roof space • Wall space • Floor space

Attic inspection performed:

- From access hatch

Small attic space above the kitchen/bathroom

- No access to attic in this home

Remainder of ceiling is vaulted

Recommendations

ATTIC/ROOF \ Hatch/Door

Condition: • [Not insulated and not weatherstripped](#)

Missing insulation and weatherstripping on the attic hatch.

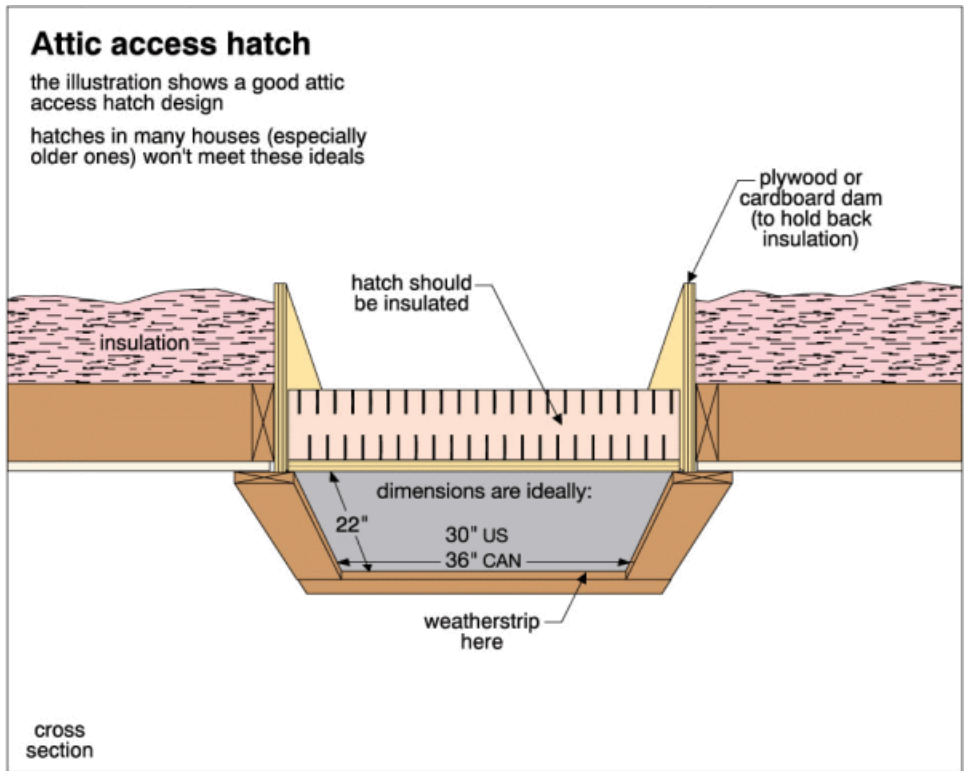
Implication(s): Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs | Reduced comfort

Location: Attic hatch

Task: Insulate and weatherstrip hatch

Time: Upon possession

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Not insulated and not weatherstripped

ATTIC/ROOF \ Roof vents

Condition: • [Inadequate](#)

There is minimal attic ventilation noted on the roof of the home. Soffit venting surrounds the underside of the roof overhang, but the only vent on the roof is the ridge vent. This may be an inadequate amount of attic ventilation, that could result in potential moisture damage and organic growth to the roof sheathing/framing. It is recommended that when the roof is being replaced next, that several roof sheathing sheets are pulled up to examine the underside of the sheathing to determine if there is any attic staining present. IF attic staining is present (dark speckling/blackened roof sheathing), an indoor air quality specialist is recommended to determine the cause, and provide direction and quotes on remedial

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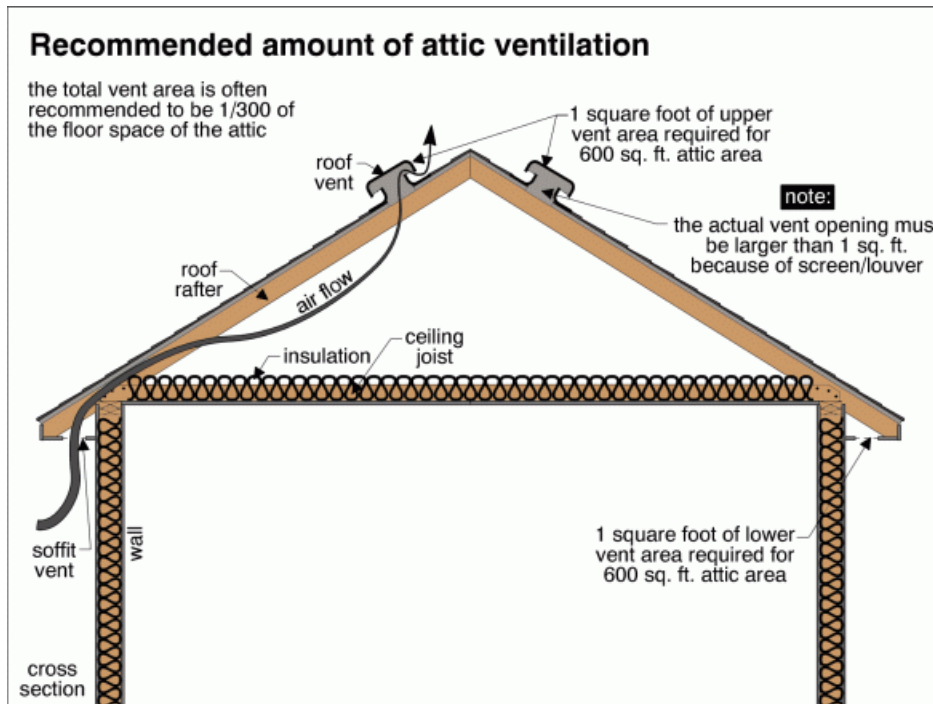
action, if necessary. Several roof vents should also be added to the roof of the home when the roof is being replaced to ensure adequate air flow and attic ventilation.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Throughout

Task: Improve

Time: When roof is redone next



Missing vents



Missing vents

WALLS \ Air/vapor barrier

Condition: • [Incomplete](#)

INSULATION AND VENTILATION

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The vapour barrier and insulation in the under stair storage space on the bottom floor is loose. Recommend replacing the insulation and repairing the vapour barrier.

Implication(s): Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs

Location: Under stair storage space

Task: Repair

Time: Upon possession



Incomplete



Incomplete

Description

Supply piping in building: • PEX (cross-linked Polyethylene) • PB (Polybutylene)

Main water shut off valve at the: • Possible main water shut off valve in the lower level bathroom



Water heater type:

- Tank



Tank

Water heater fuel/energy source: • [Electric](#)

Water heater tank capacity: • 287 liters

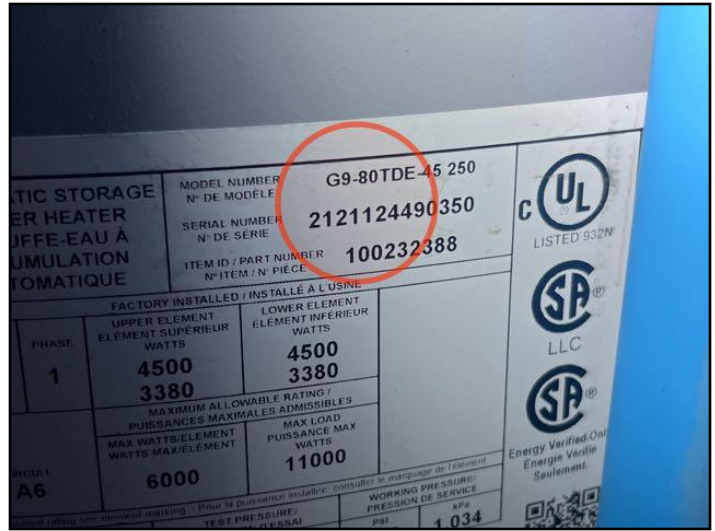
Water heater approximate age:

- 2 years

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2 years



2 years

Water heater typical life expectancy: • 10 to 15 years

Waste and vent piping in building: • [ABS plastic](#)

Limitations

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Recommendations

SUPPLY PLUMBING \ Water supply piping in building

Condition: • [Polybutylene](#)

Polybutylene distribution piping present in the home. Polybutylene is a more vulnerable pipe material to failure than other materials (like copper and PEX). The results of this increased vulnerability are the potential for hidden damage, and possible insurance implications. It is recommended to further evaluate with insurance providers, and a qualified Plumber should be retained for further evaluation as to the extent of the Poly-B, and provide quotes for corresponding Plumbing upgrades.

Implication(s): Chance of water damage to structure, finishes and contents | Leakage

Location: Throughout

Task: Further evaluation

Time: Before Subject Removal



Polybutylene



Polybutylene



Polybutylene

FIXTURES AND FAUCETS \ Shower stall

Condition: • Moisture detected

There is high moisture readings on all three walls in the lower level shower. There is moisture staining along the bottoms of the walls. High moisture readings on the shower walls may indicate the potential for hidden damage behind the tiles. Recommend retaining a qualified Tiler/ interior finisher to further evaluate the extent of the moisture penetration and potential hidden damage, who will provide quotes for associated costs. Repairs may be costly.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Lower level bathroom

Task: Further evaluation

Time: Upon possession and before using the shower

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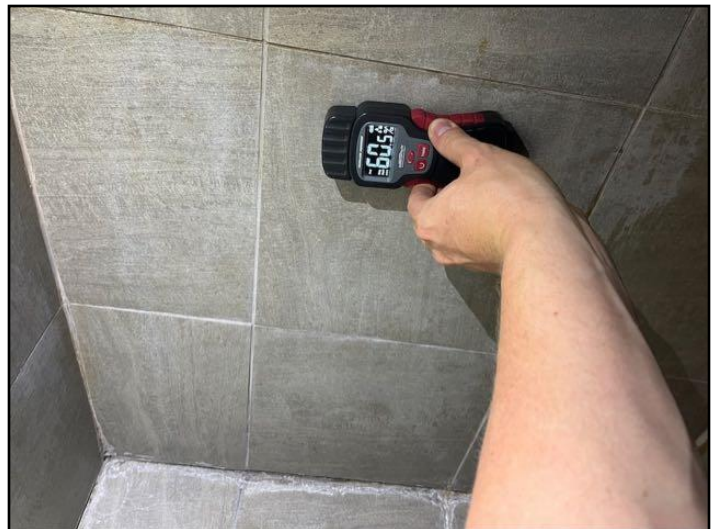
Moisture staining



Moisture staining



High moisture



High moisture



High moisture

FIXTURES AND FAUCETS \ Toilet

Condition: • [Loose](#)

There is a loose toilet. Possible hidden damage. Loose toilet pose an increased risk of leakage and corresponding potential damage.

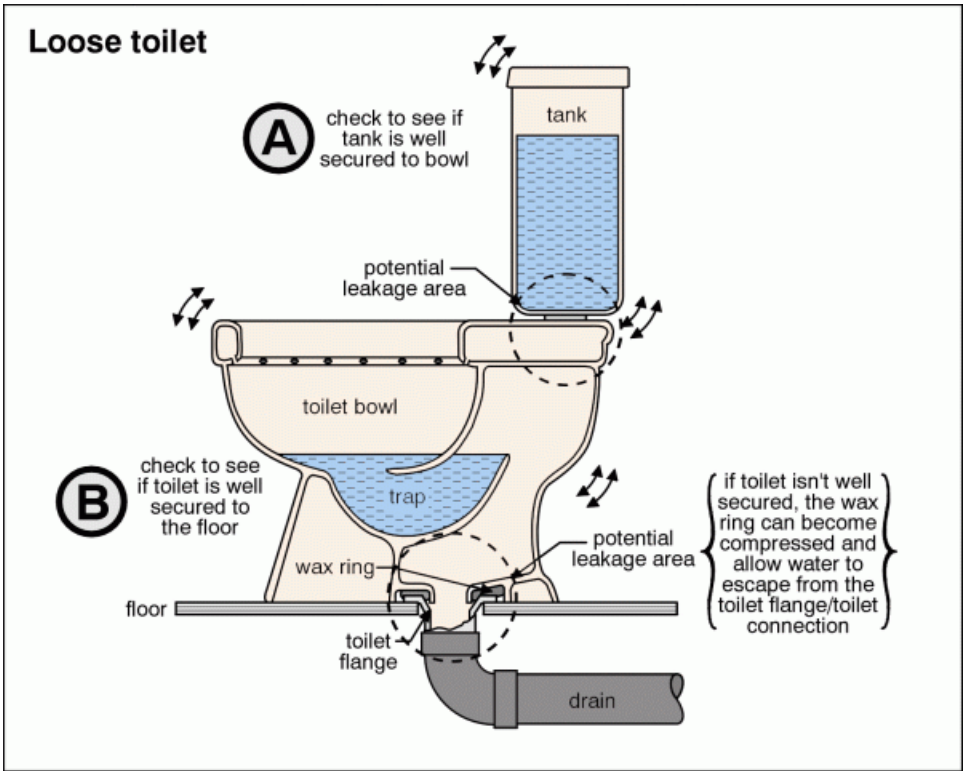
Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

Location: Lower level bathroom

Task: Improved fastening/repairs

Time: Upon Possession

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Loose

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	INSULATION	PLUMBING	INTERIOR	SITE INFO
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Description

General: • Given the age of this home, Asbestos may be found within the building materials. Asbestos is a naturally occurring fibrous material that was a popular building material used into the early 1990s. It is recommend that you review WorkSafe BC's website for Asbestos information, prior to any renovations. • Interior door material- Hollow wood

Major floor finishes: • [Carpet](#) • [Laminate](#) • Tile

Major wall and ceiling finishes: • Drywall

Windows: • [Fixed](#) • [Sliders](#) • Double pane

Exterior doors - type/material: • [Metal](#)

Laundry facilities: • Washer • Dryer

Kitchen ventilation:

• Range hood - recirculating type



Range hood - recirculating type

Bathroom ventilation: • Exhaust fan • Window

Laundry room ventilation: • Clothes dryer vented to exterior

Limitations

Inspection limited/prevented by: • Carpet • Storage/furnishings • Storage in closets and cabinets / cupboards

Recommendations

CEILINGING \ General notes

Condition: • Stains

There is moisture staining and slight organic growth development on the ceiling of the top floor bathroom. Moisture staining had low moisture readings on the day of inspection. Possible hidden damage/defects. Recommend cleaning the staining and further monitoring the area for future staining development.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Top floor bathroom

Task: Clean

Time: Upon Possession



Stains



Stains



Low moisture



Low moisture

Condition: • Water stains

There is water staining in the skylight well. The water stains had elevated moisture readings on the day of inspection.

Possible active leak and hidden damage/defects. It is recommended to retain a qualified roofer for repairs.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Top floor skylight well

Task: Repair

Time: Immediately upon possession



Water stains



Elevated moisture

WALLS \ General notes

Condition: • Cracks

There are multiple wall cracks in various locations. Possible hidden defects. It is recommended to repair these cracks upon possession, and monitor the repaired areas afterwards to determine if the cracks reappear. It is impossible to determine any active structural movement on a one day visit, and the repairs will have to be monitored with time. If the cracks reappear after repairs, a qualified structural engineer should be retained to further evaluate the extent of the cracking, and provide remediation suggestions and accompanying quotations.

Implication(s): Chance of structural movement | Damage or physical injury due to falling materials

Location: Throughout

Task: Repair and monitor

Time: Upon Possession

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Cracks



Cracks



Cracks

FLOORS \ Ceramic tile, stone, marble, etc

Condition: • [Tiles cracked](#)

There are multiple cracked tiles in the lower level main entry room.

Implication(s): Trip or fall hazard

Location: North main entry room

Task: Replace

Time: Upon possession

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Tiles cracked



Tiles cracked

DOORS \ Doors and frames

Condition: • [Loose or poor fit](#)

The exterior deck access door does not fit tightly to the door jamb. Light visible around the door edge. Reduced heating efficiency.

Location: Living Room

Task: Repair

Time: Upon Possession



Loose or poor fit

STAIRS \ Guardrails

Condition: • [Loose](#)

The top floor stair guardrail is loose.

Implication(s): Fall hazard

Location: Top floor

Task: Repair

Time: Upon possession



Loose

GARAGE \ Door between garage and living space

Condition: • [No self closer](#)

Both of the interior access man doors to the garage are not self closing. Furthermore, the access door to the furnace room is not self closing or weatherstripped. It is recommended that the access door to the furnace room is weatherstripped and self closing, and that the furnace has a fresh air intake pipe near the combustion air intake location, to help reduce the chance of combustion products from inside the garage entering the furnace intakes/living space. The interior of the furnace room is also not finished or gas tight. Recommend retaining a qualified door installation specialist for repairs.

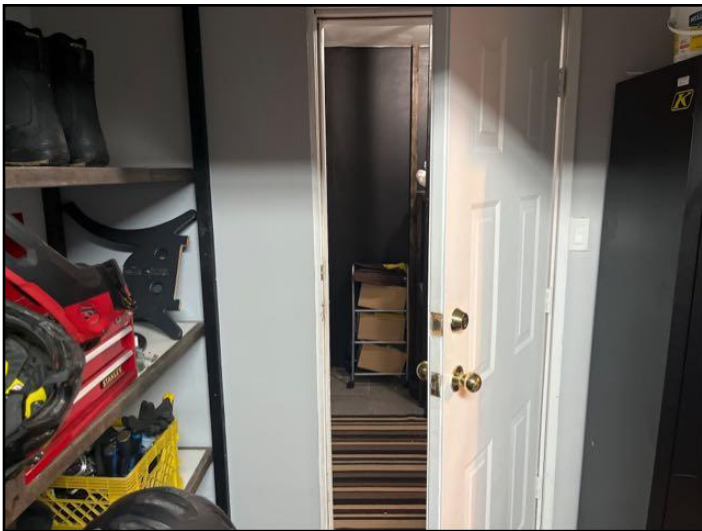
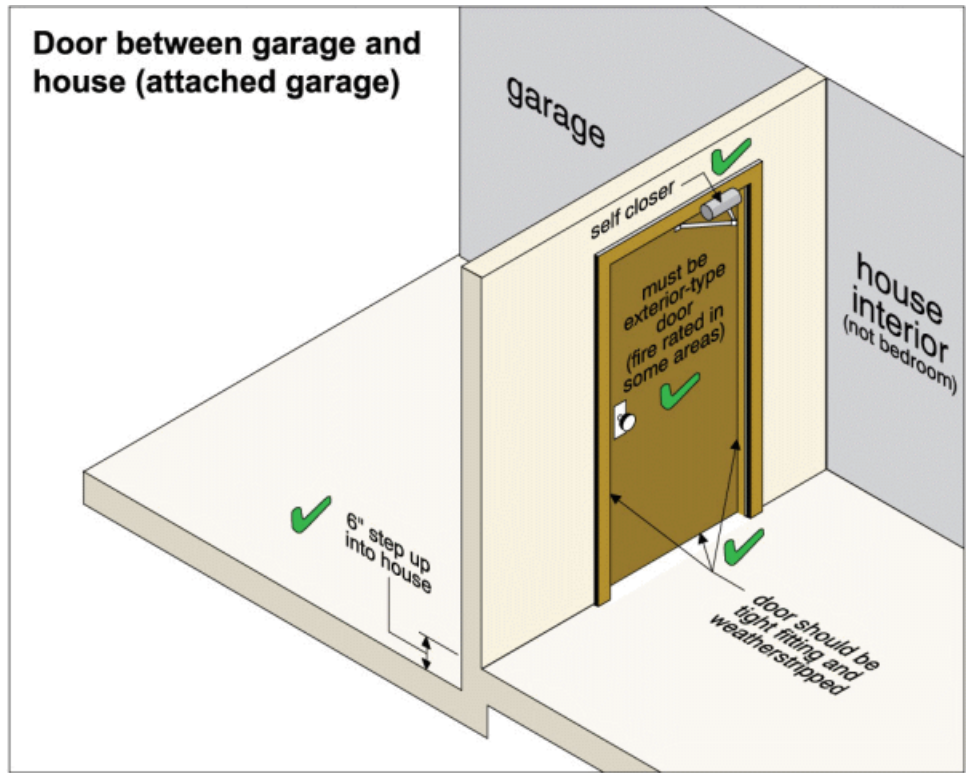
Implication(s): Hazardous combustion products entering home

Location: Throughout the man doors in the garage

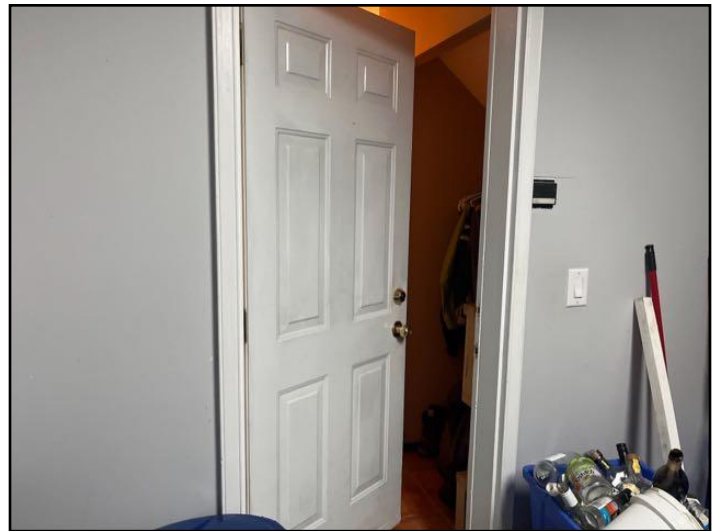
Task: Repair

Time: Immediately upon possession

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No self closer



No self closer

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No self closer



not gas tight

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Description

General:

- This home is considered to face:
North

Weather: • Heavy rain

Approximate temperature: • 12°

Attendees: • Buyer

Access to home provided by: • Buyer's agent

Occupancy: • There was no one home during the inspection.

Approximate inspection Start time: • The inspection started at 9:00 a.m.

Approximate inspection End time: • The inspection ended at 1:00 p.m.

Approximate age of home: • 30 to 35 years

Approximate date of construction:

- BC Assessment places this home as built in:
1992

Building type: • Detached home

Number of dwelling units: • Single-family

Number of stories: • 2

Number of bathrooms: • 2

Number of kitchens: • 1

Below grade area: • Slab-on-grade

Garage, carport and outbuildings: • Attached garage

Description

Annual Roof Maintenance: • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

Maintaining the Exterior of Your Home: • Regular maintenance includes painting and caulking of all exterior wood. Trees and shrubs should be kept trimmed away from the walls and roof to prevent vermin access and mechanical damage.

Heating and Cooling System - Annual Maintenance: • An annual maintenance agreement that covers parts and labour is recommended for all heating and cooling equipment. Humidifiers and electronic air cleaners should be included in the service agreement if applicable. The first service visit should be arranged as soon as possible, preferably before equipment is used. • Filters for furnaces and air conditioners should be checked monthly during the operating season and changed when they are dirty. Duct systems should be balanced during regular servicing for maximum comfort. Systems with heating and air conditioning require different balance setups for summer and winter. • Gas fireplaces and heaters should be included in annual service plans with gas furnaces, boilers or water heaters.

Bathtub and Shower Maintenance: • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

Washing Machine Hoses:

• We suggest braided steel hoses rather than rubber hoses for connecting washing machines to supply piping in the home. A ruptured hose can result in serious water damage in a short time, especially if the laundry area is in or above a finished area of the home.



We suggest braided steel hoses rather than...

Smoke and Carbon Monoxide (CO) Detectors: • Smoke and carbon monoxide (CO) detectors should be provided at every floor level, including basements and crawl spaces. (Even if they are present during the inspection, we recommend replacing detectors.) Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

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END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS