



PROPERTY CONDITION ASSESSMENT REPORT

Timberline Home Inspections. Your trusted, reliable Kootenay Inspection service!

PREPARED BY:

Nathan Wheaton, License # 80960

FOR THE PROPERTY AT:

123 Main Street
Timberline, BC A1A 1A1

PREPARED FOR:

JOHN DOE

INSPECTION DATE:

Friday, April 1, 2022



Timberline Home Inspections
3112 South Slocan Station Road
South Slocan, BC V0G 2G0

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SUMMARY

123 Main Street, Timberline, BC April 1, 2022

Report No. 1252, v.4

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ELECTRICAL

HEATING

AIR CONDITI

VENTILATION

PLUMBING

ROOFING

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EXTERIOR C

PARKING

Note: For the purpose of this report the building is considered to be facing **West**.

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Heating

GENERAL \ Overall condition

Condition: • Poor

Noted poor condition ceiling mounted heater. Buildingcenter.org places date of manufacture as 1964. Past typical life expectancy. No function on day of inspection when nearby thermostat was operated. Possible hidden defects/damage. Possible equipment does not function. Recommend repairs/replacement.

Location: Warehouse area

Task: Repair or replace

Time: Upon Possession

Plumbing

PIPING \ Supply

Condition: • Backflow prevention device missing at the main domestic water service entrance

Implication: Possible contamination of municipal water supply

Location: Utility Room

Task: Provide

Time: Upon Possession

Structure

FOUNDATIONS \ Settlement and Shrinkage Cracks

Condition: • Settlement cracks noted

Cracks of increased size noted throughout the poured concrete foundation, where visible. Recommend repairs by a qualified concrete repair specialist. Possible hidden damage/defects.

Location: Throughout

Task: Repair

Time: Upon Possession

FLOORS \ Wood

Condition: • Localized rot

Noted sill plate rot on the East basement wall. Possible other hidden damage. Recommend repairs by a qualified Carpenter.

Implications: Costly repairs. Reduced structural integrity.

Location: East Basement

Task: Repair or replace

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Time: Upon Possession

Exterior Components

SITE WORK \ Asphalt pavement

Condition: • Local surface deterioration

Noted the asphalt pavement is aging. Noted damaged concrete sidewalks. Regular repairs are recommended.

Implications- Deteriorated asphalt and sidewalks may become unusable for vehicles and unsafe for pedestrians. Possible costly repairs.

Location: West Exterior

Task: Repair localized areas of deterioration

Time: Ongoing

SITE WORK \ Retaining walls

Condition: • Leaning

Noted the retaining wall on the North side of the West exterior parking lot is leaning and cracked. Additional support members appear to have been added. Recommend consultation with the City on determining retaining wall ownership/responsibility.

Location: West Exterior

Task: Repair or replace

Time: Less than 3 years

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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Description

Client relationship to this property: • Prospective purchaser

Purpose of the report: • Property Condition Assessment

General property description: • Commercial

Below grade area: • Basement

Approximate age of building: • More than 50 years

Approximate date of construction: • 1970 to 1980

Document review: • No documents were available for review.

Overall condition: • Repairs are recommended to several systems.

Overall level of maintenance: • Considerable deferred maintenance was noted.

This report meets ASTM Standard E2018-15, with these exceptions: • Opinions of probable cost are not included. • A Building Code and Fire Code violation inquiry was not undertaken. • Fire and life safety systems were not reviewed.

For the purpose of this report the front of the building faces: • West

Weather: • Clear

Approximate temperature: • 22°

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Description

Annual Roof Maintenance: • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

Heating and Cooling System - Annual Maintenance: • An annual maintenance agreement that covers parts and labour is recommended for all heating and cooling equipment. Humidifiers and electronic air cleaners should be included in the service agreement. The first service visit should be arranged as soon as possible, preferably before equipment is used. • Filters for furnaces and air conditioners should be checked monthly during the operating season and changed when they are dirty. Duct systems should be balanced during regular servicing for maximum comfort. Systems with heating and air conditioning require different balance setups for summer and winter.

Description

General Condition:

- satisfactory



satisfactory

Level of Maintenance: • adequate, for the most part

Electrical service to the building: • Overhead

Main electrical service transformer: • Pole-mounted transformer

Main building transformer size: • Unknown

Electrical service size: • 400-amps • 120/240-volt, single phase

Service distribution and metering:

- There is a single meter for the building

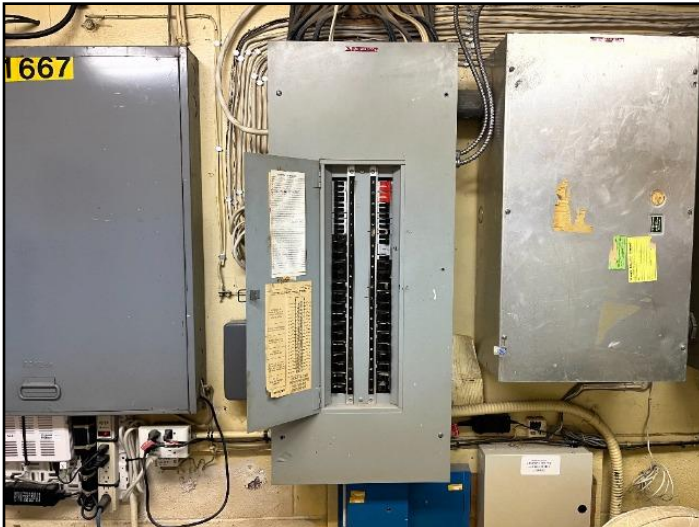


Main building

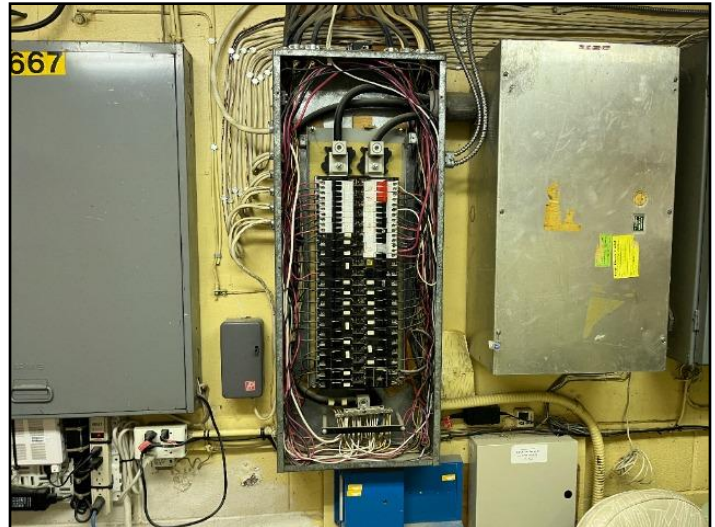
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Distribution panels:

- Circuit breakers



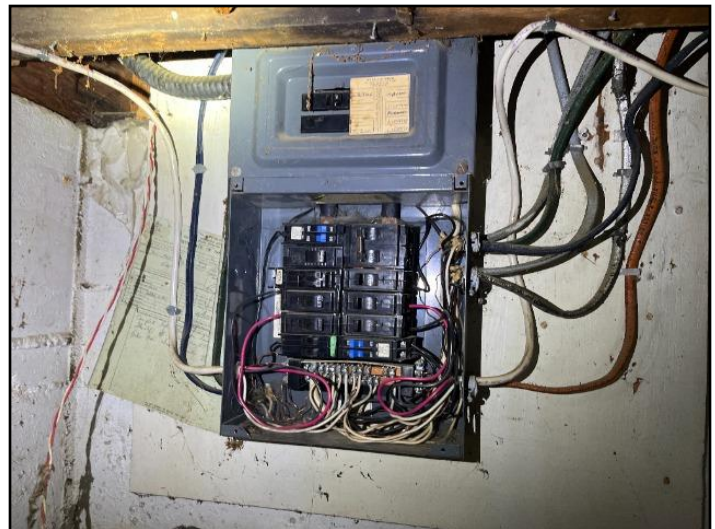
Circuit breakers



Circuit breakers



Circuit breakers



Circuit breakers

Predominant wire types: • Copper

Standby generator: • None

Grounding - electrical system: • at the domestic water service entrance

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Limitations

Main building transformer size or location: • The utility may be able to provide more information

Supplier of electricity: • Could not be determined

Recommendations

BRANCH CIRCUIT \ Fixture cover plates

Condition: • Missing on switches, outlets and junction boxes

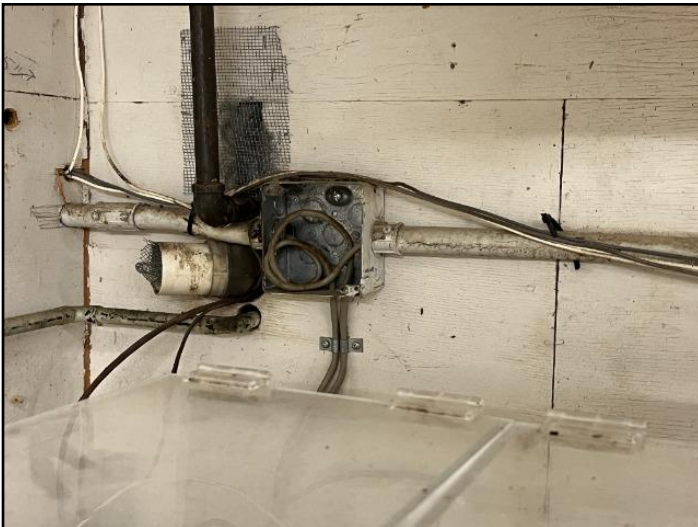
Missing/damaged cover plates on various switches, receptacles and junction boxes. Recommend installing cover plates.

Implications: Electric shock

Location: Throughout

Task: Provide

Time: Upon Possession



Missing on switches, outlets and junction...



Missing on switches, outlets and junction...



Missing on switches, outlets and junction...

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BRANCH CIRCUIT \ Outlet conditions

Condition: • Exterior receptacles and receptacles within 5 feet of a sink/water source are recommended to be GFCI protected, as well as receptacles that power a sump pump.

Implication(s): Electric shock

Location: Throughout

Task: Repair

Time: Upon Possession



GFCI needed



GFCI needed



GFCI needed

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Description

General Condition:

- serviceable
Furnace

Level of Maintenance: • lacking

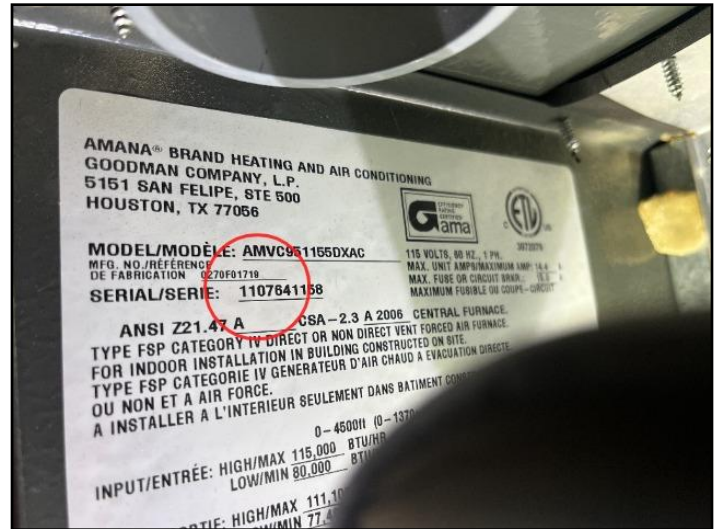
Furnace #1 - Age and Type:

- Between 11 to 15 years old
2011



Between 11 to 15 years old

- Gas-fired, high-efficient



Between 11 to 15 years old



Gas-fired, high-efficient



Gas-fired, high-efficient

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Thermostat

Typical Furnace Life Expectancy: • High Efficient - 15 to 25 years - somewhat variable

Ceiling-mounted Heater #1 - Age and Type:

• Gas-fired, unit heater

Buildingcenter.org places unit manufacture at 1964- 58 years.



Gas-fired, unit heater

Typical Ceiling-mounted Heater Life Expectancy: • 15 to 25 years - Dependent on location to overhead doors, exposing the heaters to greater thermal stresses and reducing life expectancy • Electric - Indefinite, as long as replacement parts are available - decreasingly likely after 20 years

Forced Air heat distribution: • Overhead supply air registers • Floor level supply air registers • Below floor slab supply air registers

Forced Air return network: • Return air registers ducted to the return air plenums

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Quantity of gas meters:

- One



One



Main shut off

Gas supplier: • Unknown

Maintenance contract: • None currently active

Limitations

Natural gas supplier: • Not verified

Recommendations

GENERAL \ Overall condition

Condition: • Poor

Noted poor condition ceiling mounted heater. Buildingcenter.org places date of manufacture as 1964. Past typical life expectancy. No function on day of inspection when nearby thermostat was operated. Possible hidden defects/damage. Possible equipment does not function. Recommend repairs/replacement.

Location: Warehouse area

Task: Repair or replace

Time: Upon Possession

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Poor



Thermostat

AIR CONDITIONING

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Description

- General Condition:** • satisfactory
- Level of Maintenance:** • adequate, for the most part
- Central Cooling:** • Rooftop unit (Air-conditioning only)
- Rooftop Unit #1 - Age and compressor type:**
 - Less than 5 years old
 - 2018



Less than 5 years old

- Rooftop Unit #1 - Cooling capacity and fresh air intake:** • 5-tons
- Typical Rooftop Unit Life Expectancy:** • 10-15 years
- Air Distribution:** • Same as described in Heating section
- Return Air Arrangement:** • Same as described in Heating section
- Refrigerant noted in A/C system(s):** • R-410A
- Maintenance contract:** • None currently active

Recommendations

ROOFTOP UNITS \ Unit #1

- Condition:** • Noted missing vibration reduction measures in place on the roof mounted air conditioner. Recommend installation of vibration dampeners.
- Implication(s):** Damage to roof membrane. Nuisance from noise
- Location:** Roof
- Task:** Improve
- Time:** Upon Possession

AIR CONDITIONING

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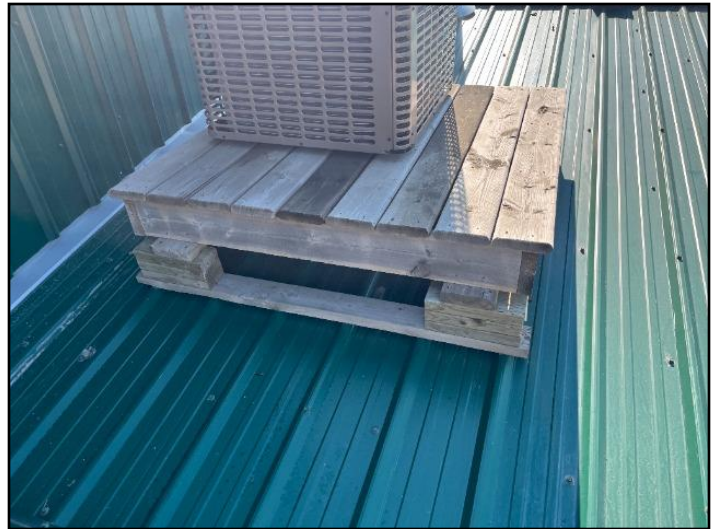
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Missing vibration dampeners



Missing vibration dampeners

VENTILATION

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Description

General Condition: • fair

Level of Maintenance: • adequate, for the most part

Operable windows: • Office(s)

Operable doors: • Storefront

Wall-mount exhaust fans - Areas serviced: • Retail area

PLUMBING

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Description

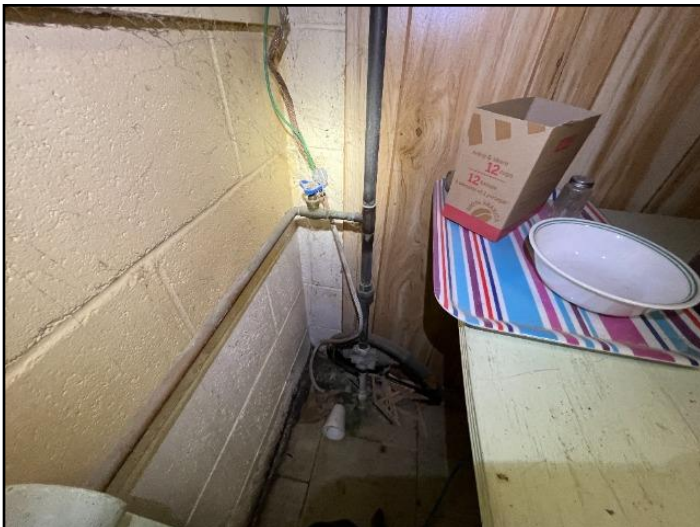
General Condition: • fair

Level of Maintenance: • lacking

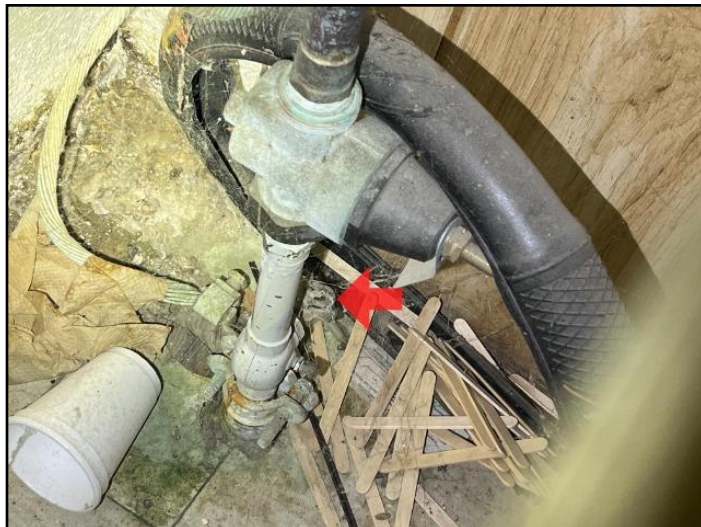
Domestic water supply - size and pipe material: • 3/4-inch diameter • Copper

Domestic water supply - shutoff:

- In the mechanical room



In the mechanical room



In the mechanical room

Backflow Prevention Device at the main water supply: • None

Supply plumbing pipe material examined: • Copper

Drain, Waste and vent piping material examined: • ABS plastic

Washroom locations: • Men's and women's in offices

Domestic Water Heaters: • Electric

Domestic Water Heater/Boiler - Approximate Age:

- Between 10 and 15 yrs old

2011

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Between 10 and 15 yrs old



Between 10 and 15 yrs old

Typical Domestic water Heater/Boiler Life Expectancy: • 8-12 years

Sump Pumps and locations:

- Basement

Sump pump noted in basement, pit appeared dry.



Basement



Basement

PLUMBING

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Limitations

Domestic water supplier: • Could not be verified

Recommendations

PIPING \ Supply

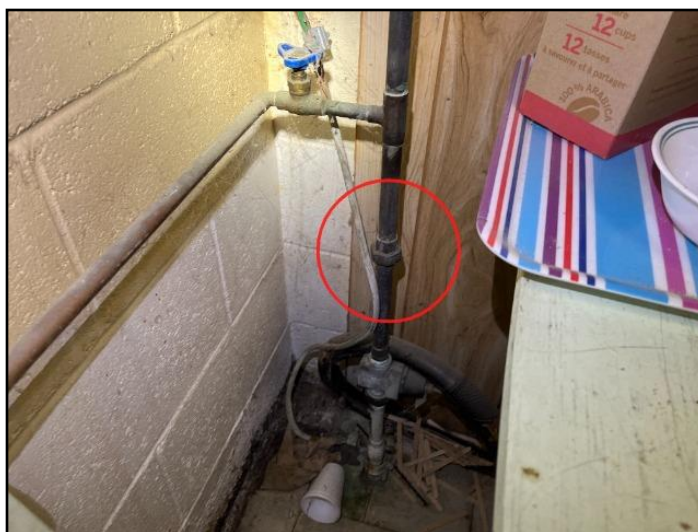
Condition: • Backflow prevention device missing at the main domestic water service entrance

Implication: Possible contamination of municipal water supply

Location: Utility Room

Task: Provide

Time: Upon Possession



Backflow prevention device missing at the...

DOMESTIC WATER HEATING \ Operating status and condition

Condition: • Approaching the end of its expected useful life

Noted the date of manufacture on the hot water tank as 2011. 11 years. Typical life expectancy 8-12 years. Recommend budgeting for replacement.

Location: Utility Room

Task: Replace

Time: When necessary

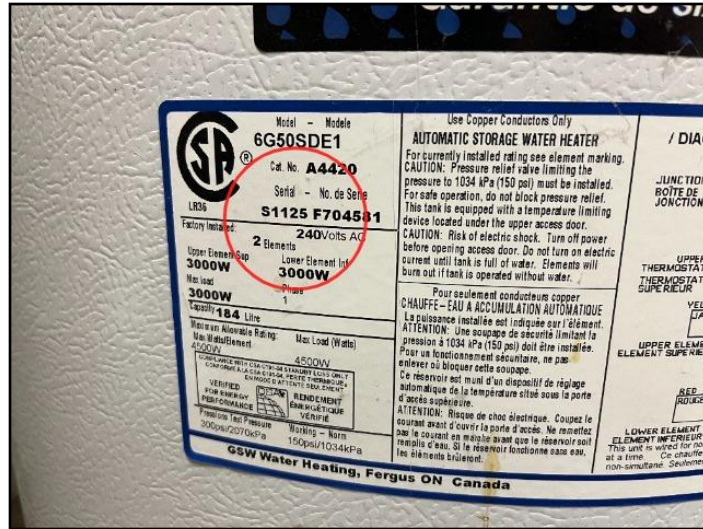
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- PARKING



Near end of typical life expectancy

ROOFING

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Description

General Condition:

- serviceable
- Metal

Level of Maintenance: • lacking

Typical Metal roof life expectancy: • 30 to 50 years

Sloped roof drainage: • Gutters and downspouts • Downspouts discharge below grade

Recommendations

DRAINAGE \ Gutters and Downspouts

Condition: • Poor condition

Noted damaged/clogged gutters throughout the exterior. Recommend cleaning and repairing the gutters.

Implication: Water damage to structure and materials.

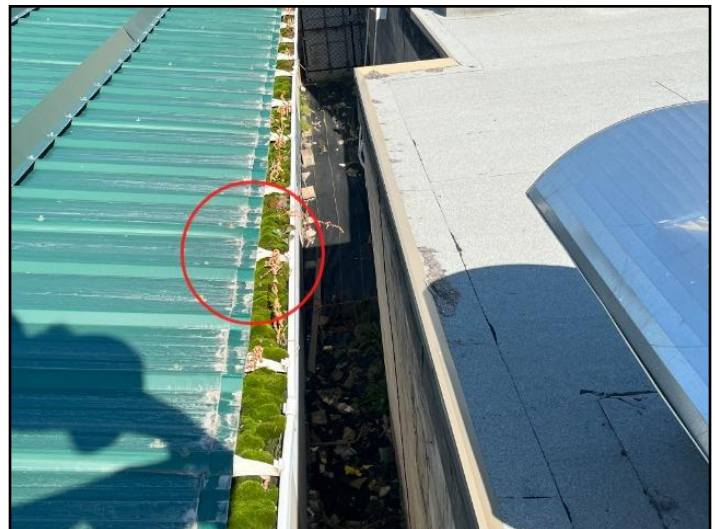
Location: Throughout

Task: Clean

Time: Upon Possession



Poor condition



Poor condition

CHIMNEYS \ Metal

Condition: • Leaning

Noted a loose chimney fixture. Possible hidden damage. Recommend repairs.

Implications: Damage to materials. Water ingress.

Location: North roof

Task: Repair

Time: Upon Possession

ROOFING

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Leaning



Leaning

INTERIOR COMPONENTS

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Description

- General Condition:** • fair
- Level of Maintenance:** • lacking
- Finished area floor coverings:** • Resilient tile
- Finished area floor coverings:** • Laminate
- Wall finishes:** • Drywall • Paneling
- Ceiling finishes:** • Acoustic tile • Drywall

Recommendations

INTERIOR SURFACES - FLOORS \ General

- Condition:** • Deteriorated
- Noted deteriorated and damaged flooring throughout the retail area. Noted concrete cracks in the retail areas.
- Implications: Tripping hazards. Possible hidden damage.
- Location:** Throughout retail area
- Task:** Repair/Replace
- Time:** Upon Possession



Deteriorated



Deteriorated

INTERIOR COMPONENTS

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Deteriorated



Cracks

STAIRWELLS \ Handrails / Railings

Condition: • Missing

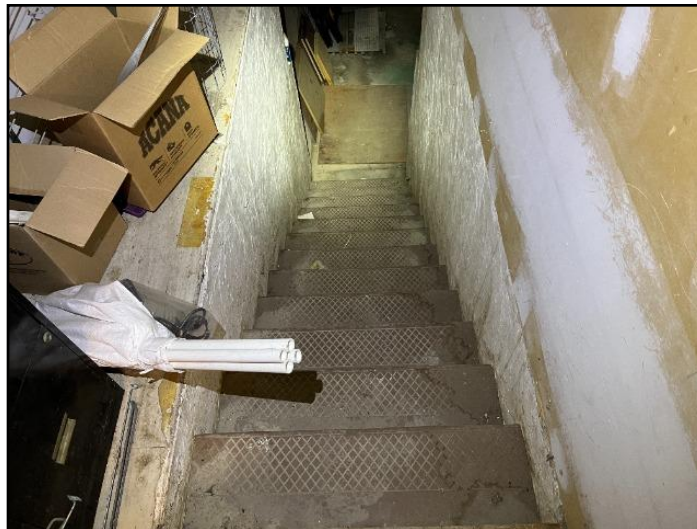
Noted a missing handrail to on the basement access stairs. Recommend adding a handrail.

Implications: Falling hazard.

Location: Basement Access

Task: Provide

Time: Upon Possession



Missing

INSULATION

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Description

General: • It should be understood that a review of the thermal characteristics of the building envelope is beyond the scope of our assessment. Only general information is provided here

Basement wall Insulation and Approximate value: • It appears the basement walls and ceiling were not insulated

Attic Insulation and Approximate value: • Fiberglass insulation

Limitations

Above grade walls: • The presence of insulation could not be verified

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Description

General Condition: • serviceable

Level of Maintenance: • lacking

Configuration: • Slab-on-grade • Basement below portion of building

Foundation wall material: • Poured-concrete

Exterior walls: • Concrete-block

Floors:

- Wood joists
- Supported by wood beams and columns

Visible in basement area

Floors: • Appears to be concrete slab throughout the remainder of the building

Roof: • Supported by wood roof joists • Supported by exterior walls

Limitations

General: • Interior and exterior finishes restricted the evaluation of the structure

Recommendations

FOUNDATIONS \ Settlement and Shrinkage Cracks

Condition: • Settlement cracks noted

Cracks of increased size noted throughout the poured concrete foundation, where visible. Recommend repairs by a qualified concrete repair specialist. Possible hidden damage/defects.

Location: Throughout

Task: Repair

Time: Upon Possession



Settlement cracks noted



Settlement cracks noted

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Settlement cracks noted

FLOORS \ Wood

Condition: • Localized rot

Noted sill plate rot on the East basement wall. Possible other hidden damage. Recommend repairs by a qualified Carpenter.

Implications: Costly repairs. Reduced structural integrity.

Location: East Basement

Task: Repair or replace

Time: Upon Possession



Localized rot



Localized rot

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Localized rot



Localized rot

ROOF \ Joists

Condition: • Damaged

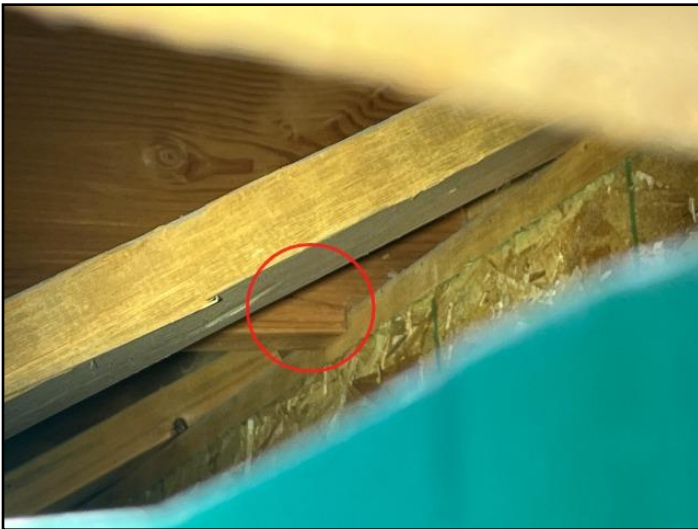
Noted a damaged/split roof support rafter in the East exterior attic space, visible from the attic hatch. Recommend repairs.

Implications: Reduced structural integrity. Possible damage to structure

Location: East Attic

Task: Repair

Time: Upon Possession



Damaged



Damaged

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Description

General Condition: • poor

Level of Maintenance: • lacking

Exterior Walls: • Concrete block • Metal siding

Main entrance doors: • Aluminum-framed • Double-glazed

Personnel doors: • Wood-framed

Office windows: • Vinyl-framed

Retaining walls: • Poured concrete

Pavement: • At building perimeter

Sidewalks and Walkways: • Poured-concrete

Limitations

Storage: • Limited the inspection

Recommendations

DOORS \ Personnel doors

Condition: • Damaged

Damaged/poor fitting doors with damaged hardware noted on the North exterior leading into the warehouse area.

Recommend replacement.

Implications: Reduced security and operability.

Location: North Exterior

Task: Replace

Time: Upon Possession



Damaged



Damaged

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Damaged



Damaged

SITE WORK \ Grading

Condition: • Improper grading

Improper slope and drainage in various locations around the exterior perimeter. Evidence of moisture penetration/interior damage on the North wall. Recommend repairs.

Implications- Water damage to structure and finishes.

Location: West Exterior

Task: Repair

Time: Upon Possession



Improper grading



Improper grading

EXTERIOR COMPONENTS

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AIR CONDITI

VENTILATION

PLUMBING

ROOFING

INTERIOR CO

INSULATION

STRUCTURE

EXTERIOR C

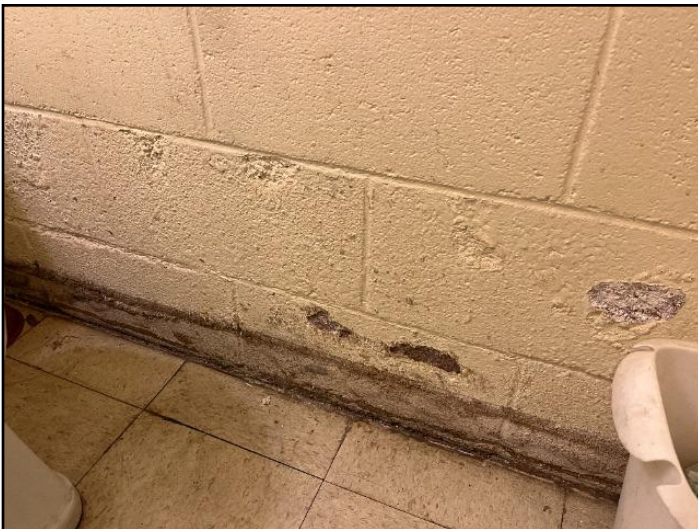
PARKING



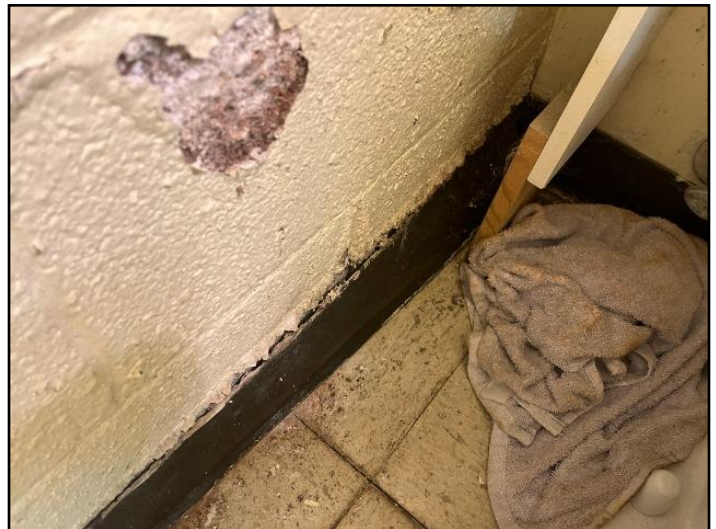
Improper drainage



Moisture penetration/damage on interior



Moisture penetration/damage on interior



Moisture penetration/damage on interior

SITE WORK \ Asphalt pavement

Condition: • Local surface deterioration

Noted the asphalt pavement is aging. Noted damaged concrete sidewalks. Regular repairs are recommended.

Implications- Deteriorated asphalt and sidewalks may become unusable for vehicles and unsafe for pedestrians. Possible costly repairs.

Location: West Exterior

Task: Repair localized areas of deterioration

Time: Ongoing

EXTERIOR COMPONENTS

123 Main Street, Timberline, BC April 1, 2022

Report No. 1252, v.4

www.timberlineinspections.ca

SUMMARY	SUMMARY B	MORE INFO	ELECTRICAL	HEATING	AIR CONDITI	VENTILATION	PLUMBING	ROOFING	INTERIOR CO
INSULATION	STRUCTURE	EXTERIOR C	PARKING						



Local surface deterioration



Local surface deterioration



Local surface deterioration



Local surface deterioration

EXTERIOR COMPONENTS

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Local surface deterioration



Local surface deterioration

SITE WORK \ Retaining walls

Condition: • Leaning

Noted the retaining wall on the North side of the West exterior parking lot is leaning and cracked. Additional support members appear to have been added. Recommend consultation with the City on determining retaining wall ownership/responsibility.

Location: West Exterior

Task: Repair or replace

Time: Less than 3 years



Cracked



Cracked

EXTERIOR COMPONENTS

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Leaning

PARKING

123 Main Street, Timberline, BC April 1, 2022

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SUMMARY	SUMMARY B	MORE INFO	ELECTRICAL	HEATING	AIR CONDITI	VENTILATION	PLUMBING	ROOFING	INTERIOR CO
INSULATION	STRUCTURE	EXTERIOR C	PARKING						

Description

Parking Structure Type: • No parking structure

Exterior: • Appears functional

END OF REPORT